
**SEMINOLE COUNTY GOVERNMENT
AGENDA MEMORANDUM**

SUBJECT: River's Edge Preserve PUD Final Master Plan (f/k/a Rivercrest)

DEPARTMENT: Planning and Development **DIVISION:** Planning

AUTHORIZED BY: Dori DeBord **CONTACT:** Watkins **EXT:** 7440

MOTION/RECOMMENDATION:

1. Approve the Final Master Plan and authorize the Chairman to execute the Developer's Commitment Agreement for the River's Edge Preserve PUD, consisting of 9.99 + acres, located on the east side of SR 415, approximately 1 mile north of the intersection of SR 46 and SR 415, based on staff findings (Daly Design Group, applicant); or
2. Deny the Final Master Plan for the River's Edge Preserve PUD consisting of 9.99 + acres, located on the east side of SR 415, approximately 1 mile north of the intersection of SR 46 and SR 415 (Daly Design Group, applicant); or
3. Continue the item to a time and date certain.

District 5 Brenda Carey

Austin Watkins

BACKGROUND:

The River's Edge Preserve PUD (f/k/a Rivercrest PUD) was approved by the Board of County Commissioners on March 27, 2007. The PUD is approved for a maximum of 33 attached or detached single-family dwelling units at a net density of 3.9 dwelling units per net buildable acre. The PUD's permitted uses are townhomes, detached single-family dwellings, customary accessory structure, home office, home occupations and customary recreational facilities for the use of the residents. On February 12, 2008 the Board of County Commissioners approved a Major Amendment to the PUD, which modifies the required exterior buffers and approved access points. The applicant is proposing 31 detached single-family dwellings, with a minimum lot size of 6,000 square feet. Staff finds that the proposed Final Master Plan and Developer's Commitment Agreement comply with all the conditions contained in the approved Development Order.

STAFF RECOMMENDATION:

Staff recommends the Board APPROVE the River's Edge Preserve PUD Final Master Plan and authorize the Chairman to execute the Developer's Commitment Agreement, consisting of 9.99 ± acres, located on the east side of SR 415, approximately 1 mile north of the intersection of SR 46 and SR 415.

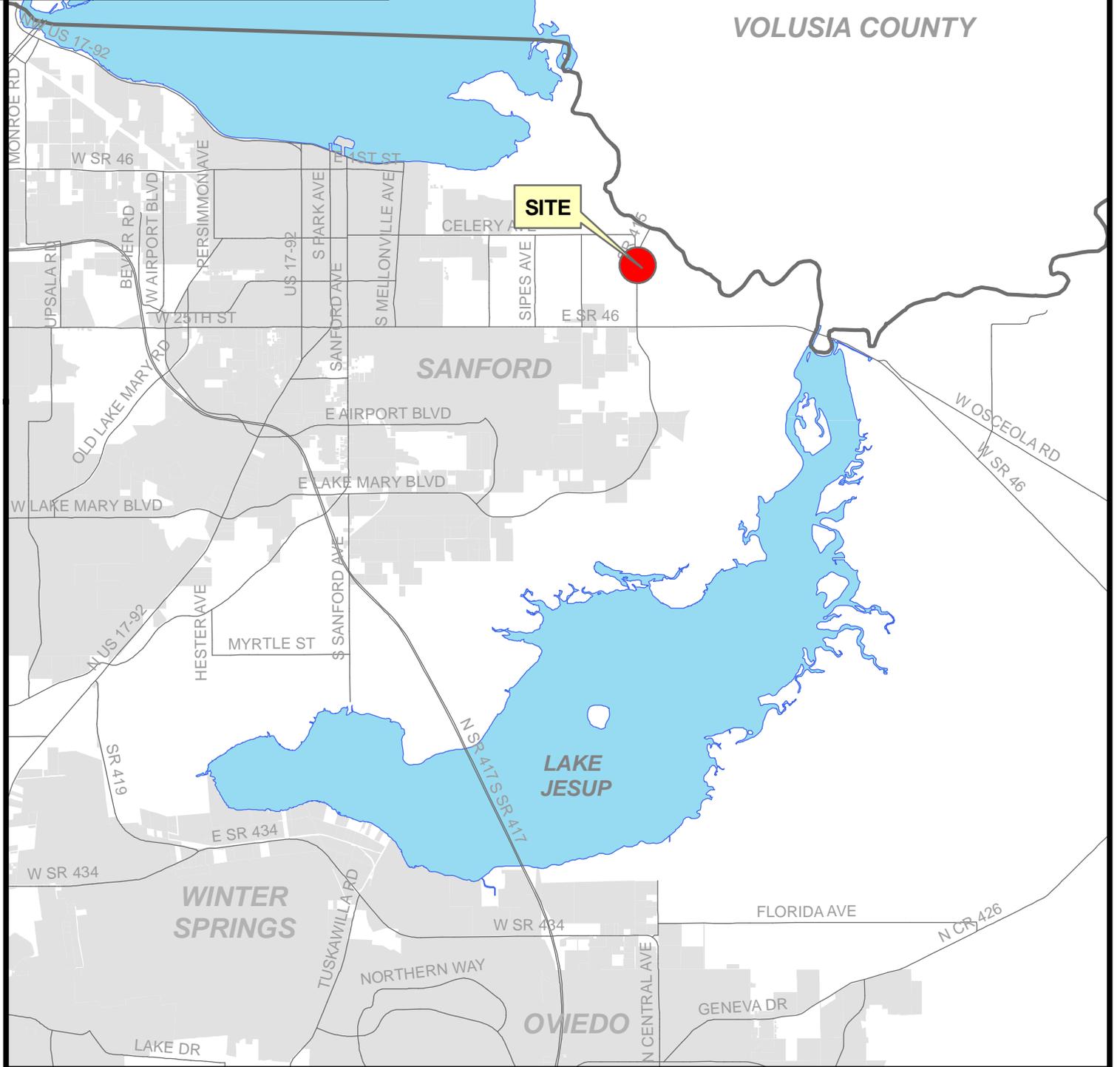
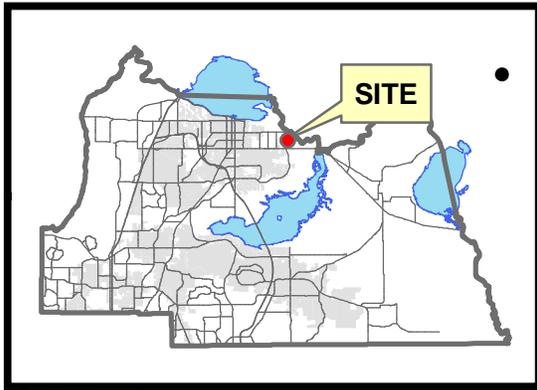
ATTACHMENTS:

1. Location Map
2. Zoning and Future Land Use Map
3. Aerial Map

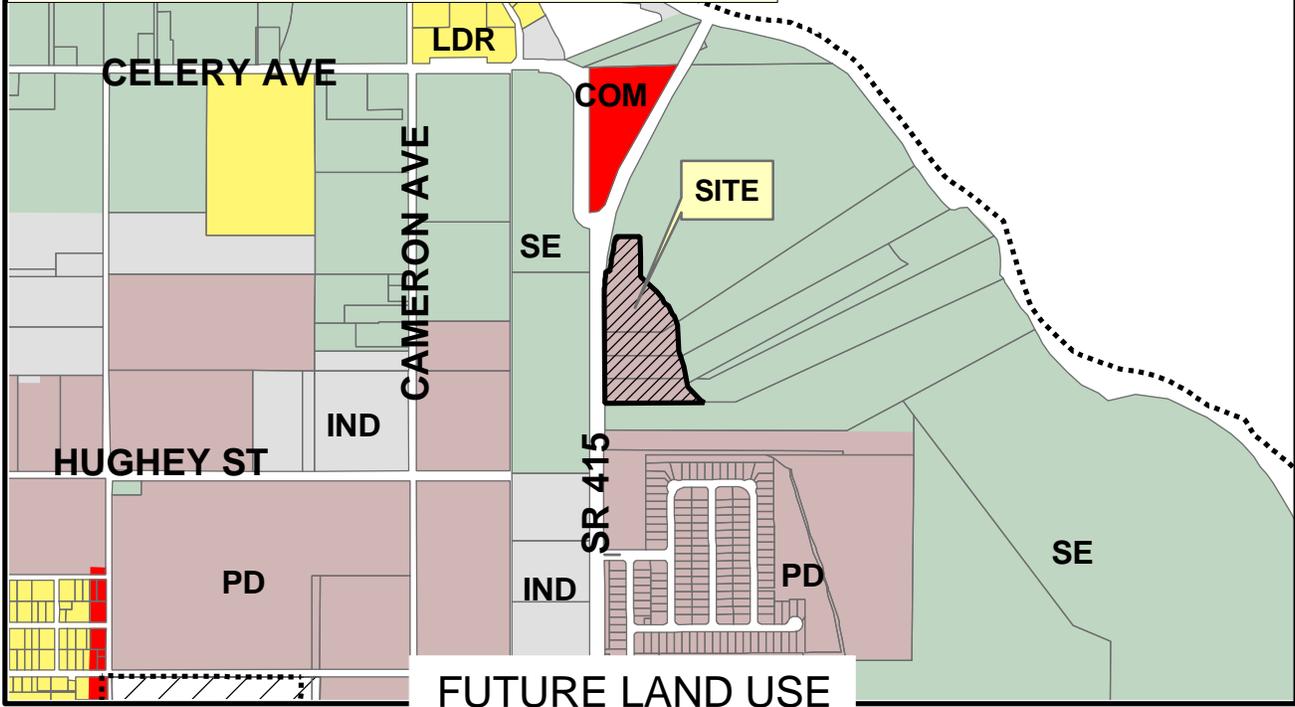
4. Final Master Plan
5. Developer's Commitment Agreement
6. Revised and Restated Development Order
7. Ownership Disclosure Form

Additionally Reviewed By:

County Attorney Review (Kathleen Furey-Tran)



The presence of any wetlands and or flood-prone areas is determined on a site by site basis. Boundary adjustments may be made based upon more definitive on-site information obtained/during the development review process. Wetland information, based on SJRWMD's update of National Wetland Inventory Maps, and 100 yr floodprone area information, based on Flood Insurance Rate Maps provided by FEMA.

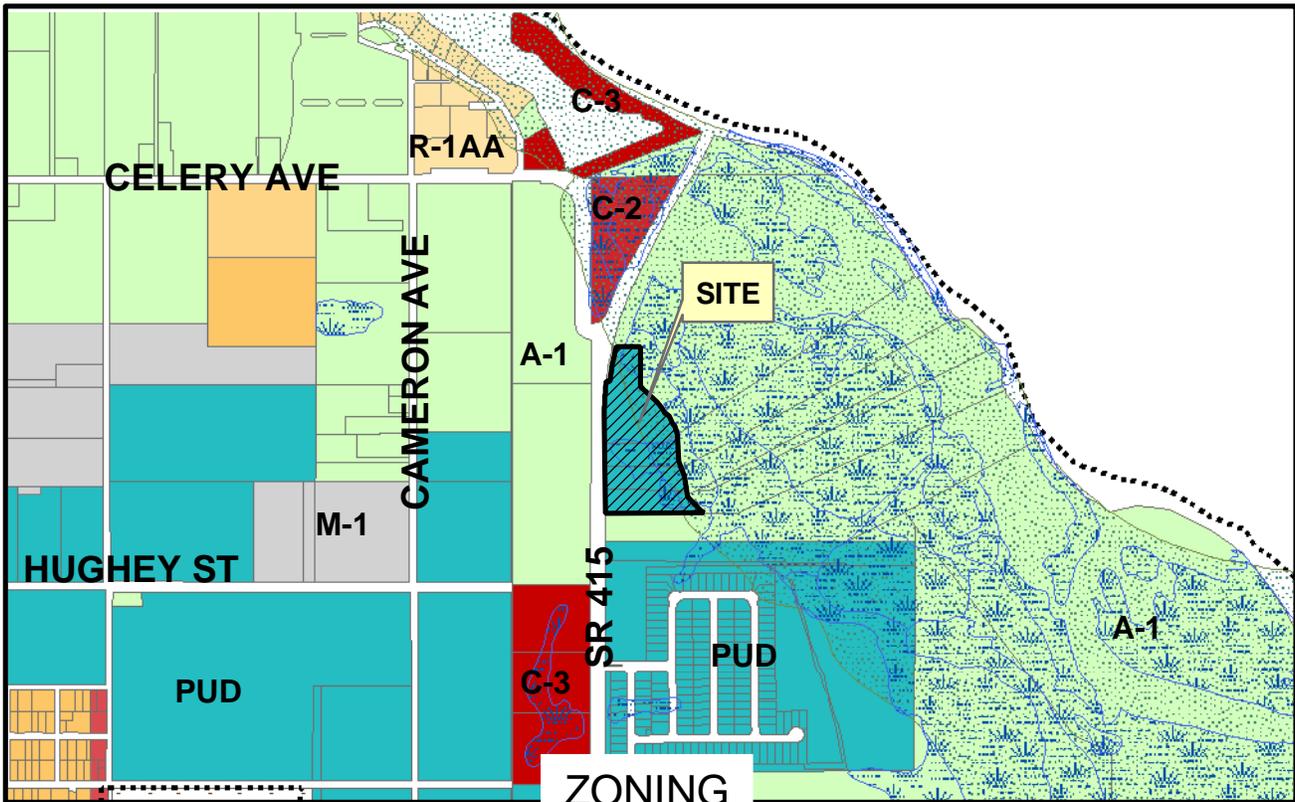


FUTURE LAND USE

Site
 Municipality
 SE
 LDR
 PD
 COM
 IND
 CONS

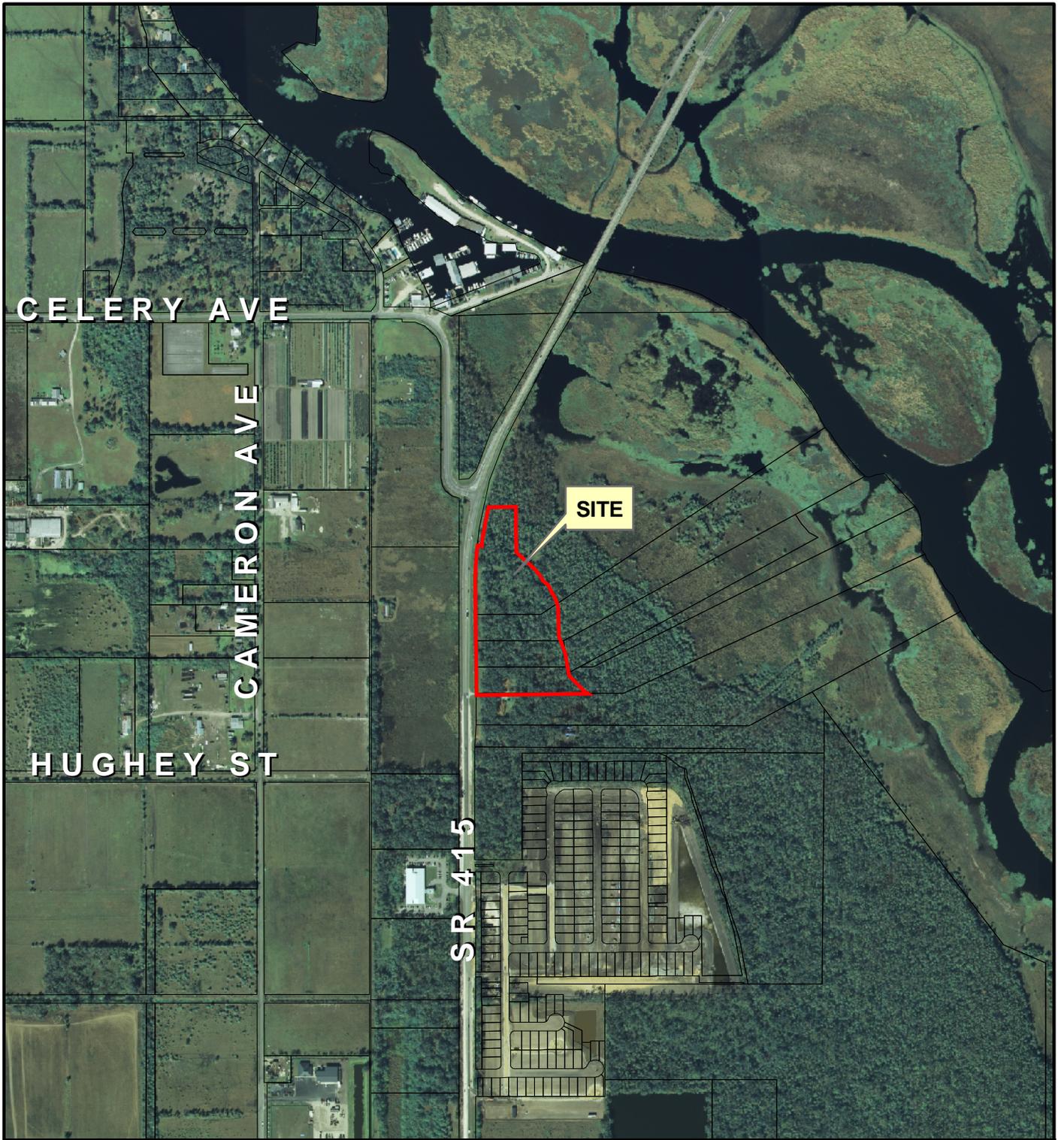
Applicant: Thomas Daly
 Physical STR: 34-19-31-300-006A, 006B, 006C, 006D, 006E
 Gross Acres: 9.99 +/- BCC District: 5
 Existing Use: Vacant
 Special Notes: Final Master Plan

	Amend/ Rezone#	From	To
FLU	--	--	--
Zoning	Z2007-040	--	--



ZONING

A-1
 R-1AA
 PUD
 C-2
 C-3
 M-1
 FP-1
 W-1



Rezoning No: Z2007-040
 Final Master Plan

- Parcel
- Subject Property



Winter 2006 Color Aerials

LEGAL DESCRIPTION

A PORTION OF SECTION 34, TOWNSHIP 19 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 34-19-31 AND THE EAST RIGHT OF WAY LINE STATE ROAD 415; THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°35'26" WEST, A DISTANCE OF 460.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES AND DISTANCES: NORTH 00°35'26" WEST, A DISTANCE OF 636.08 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,859.86 FEET, A CENTRAL ANGLE OF 07°10'37" AND A CHORD DISTANCE OF 232.82 FEET WHICH BEARS NORTH 02°59'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 232.97 FEET; THENCE SOUTH 83°24'49" EAST, A DISTANCE OF 25.00 FEET TO A POINT OF CURVATURE OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,834.88 FEET, A CENTRAL ANGLE OF 07°11'24" AND A CHORD DISTANCE OF 230.10 FEET WHICH BEARS NORTH 10°10'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 230.25 FEET; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY LINE NORTH 89°24'34" EAST, A DISTANCE OF 157.07 FEET; THENCE SOUTH 00°35'26" EAST, A DISTANCE OF 264.00 FEET TO A POINT ON THE 100 YEAR FLOOD PLANE LINE (ELEVATION=9.7); THENCE ALONG SAID 100 YEAR FLOOD PLANE LINE THE FOLLOWING TWELVE COURSES AND DISTANCES: SOUTH 47°33'25" EAST, A DISTANCE OF 146.26 FEET; THENCE SOUTH 39°16'15" EAST, A DISTANCE OF 51.60 FEET; THENCE SOUTH 26°11'42" EAST, A DISTANCE OF 32.29 FEET; THENCE SOUTH 54°45'21" EAST, A DISTANCE OF 36.69 FEET; THENCE SOUTH 24°30'39" EAST, A DISTANCE OF 61.76 FEET; THENCE SOUTH 40°48'25" EAST, A DISTANCE OF 17.13 FEET; THENCE SOUTH 18°54'54" EAST, A DISTANCE OF 60.11 FEET; THENCE SOUTH 02°32'45" EAST, A DISTANCE OF 173.12 FEET; THENCE SOUTH 19°47'08" EAST, A DISTANCE OF 105.76 FEET; THENCE SOUTH 09°53'19" EAST, A DISTANCE OF 132.13 FEET; THENCE SOUTH 43°55'45" EAST, A DISTANCE OF 122.29 FEET; THENCE SOUTH 54°05'27" EAST, A DISTANCE OF 29.99 FEET; THENCE DEPARTING SAID 100 YEAR FLOOD PLANE LINE SOUTH 89°24'34" WEST, A DISTANCE OF 647.39 FEET TO THE POINT OF BEGINNING.

CONTAINING 9.99 ACRES (435,029 SQUARE FEET), MORE OR LESS.

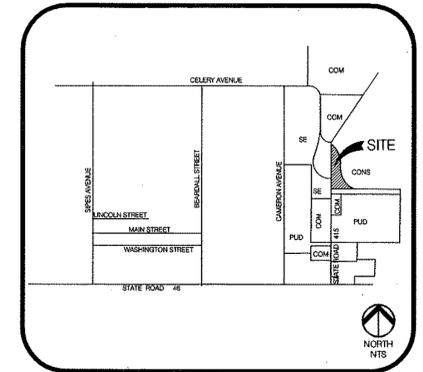
River's Edge Preserve

Final Master Plan

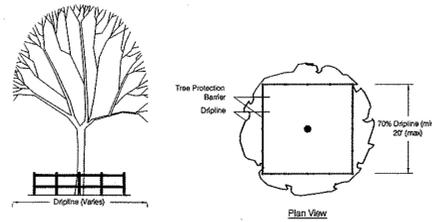
Seminole County, Florida

May 2007

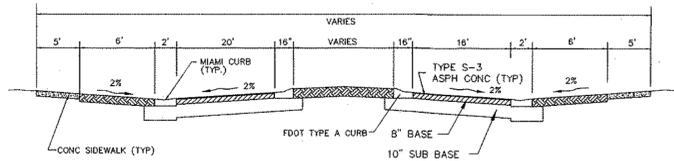
Prepared for:
Orlando RE Partners LLC.
420 Anson Lane
Suite 102
Orlando, Florida 32814



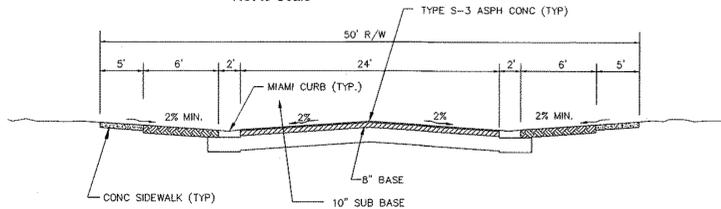
Location Map



Protective Tree Barrier
Not to Scale



Entrance Road Section
Not to Scale



Typical Road Section
Not to Scale

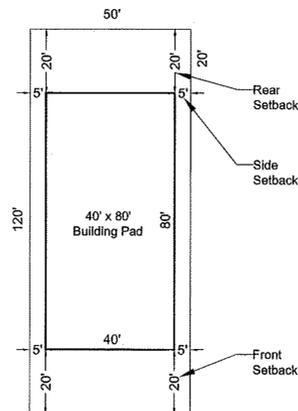
Notes:

- The site will be developed in one phase.
- All common areas, recreation facilities, and buffers will be owned and maintained by a homeowner's association.
- Lift station will be dedicated to the City of Sanford.
- Water and sewer service will be provided by the city of Sanford.
- Soil delineation's shown on the plan are based upon the SCS maps.
- This property is located in proximity to an airport noise zone. The properties delineated on this project are subject to aircraft noise that may be objectionable.
- The sale of each residential lot shall include a deed containing the following language in bold type face:
NOTICE OF AIRPORT NOISE
This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.
- No internal access shall be provided from the proposed development to the existing home that shall remain.
- Tract I will be owned and maintained by the owner of Lot 31. An access easement will be placed over Tract I for the benefit of the adjacent landowner.
- The wetland line shown on these plans is not located within the development and is shown for informational purposes only.
- West Property Line (adjacent to SR 415): Minimum 40' planted buffer in a separate tract. Plantings will be consistent with FPL planting standards and there shall be at least 6 sub-canopy trees and 10 shrubs every 100'. The retention pond is allowed to encroach a maximum of 20' into the buffer.
- North Property Line (adjacent to floodplain/ wetland): 25' building setback from post development floodplain/ wetland and a planted environmental drainage swale within a 15' easement.
- East Property Line (adjacent to floodplain/ wetland): 25' building setback from post development floodplain/ wetland and a planted environmental drainage swale within a 15' easement.
- South Property Line; Minimum 10' Landscape Buffer as shown on FMP.
- The Proposed force main shall be extended south along the East side of SR 415 to tie into the existing 6" force main located at the Entrance of the Sterling Meadows Subdivision. The proposed tie in location is at the intersection of SR 415 and Klondike Place (see sheet UT-1)

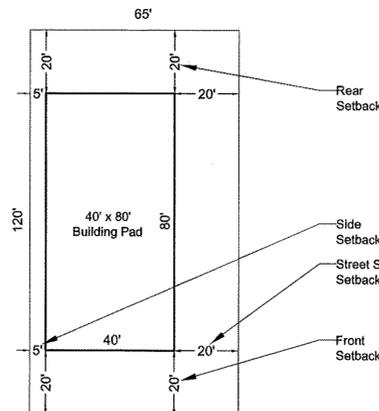
Notes Continued

- This Final Master Plan is valid only for single-family development. If the developer desires to include any townhomes a new Final Master Plan must be completed. The buffer standards for townhomes, as outlined in the revised and restated development order condition "n" dated February 12, 2008, shall apply to a townhome development

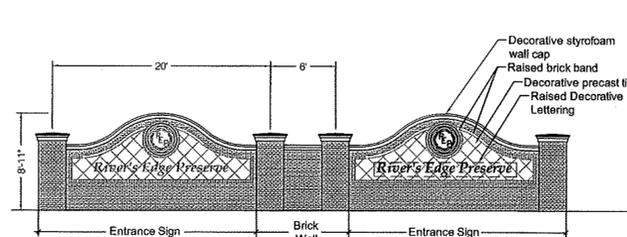
- 01.14.08 Revisions Based on County Comments dated 07.06.07
- 02.04.08 Revisions Based on County Comments dated 01.31.07



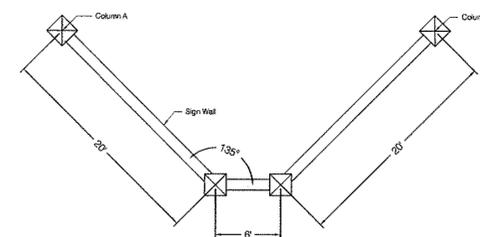
Typical Lot Layout
Not to Scale



Typical Corner Lot Layout
Not to Scale



Sign Wall Elevation and Detail
Not to Scale



Sign Wall Plan
Not to Scale

Net Buildable Acreage Calculation	
Gross Site Area	9.99 acres
External RW Dedications	0.00 acres
Nonresidential Outparcels	0.00 acres
Wetlands	0.00 acres
Flood Prone Areas	0.58 acres
Public Road RW	1.49 acres
Private Road RW	0.00 acres
Drive Aisles	0.00 acres
Lakes	0.00 acres
Net Buildable Area	7.95 acres

Open Space Calculation	
Gross Site Area	9.99 acres
Required External RW Dedications	0 acres
Public or Private RW (measured)	1.52 acres
Drive Aisles for Non-Recreational Uses	0 acres
Parking and Paved Areas	0 acres
(unless associated with a Recreational Amenity)	
Residential Lots (if platted)	5.13 acres
Residential Building Footprints (if unplatted)	0 acres
Outparcels	0 acres
Retention (if not amortized per LDC)	0 acres
Utility Tracts/Facilities	0.03 acres
Upland Common Areas Less Than 15' In Width (unless developed with pedestrian, bicycle or horse trails)	0 acres
Required Buffer Areas	0.7 acres
Required "Usable" Open Space	2.50 acres
Provided "Usable" Open Space	2.64 acres

Site Data

Parcel I.D	
34-19-31-300-006A-0000	
34-19-31-300-006B-0000	
34-19-31-300-006D-0000	
34-19-31-300-006E-0000	
Total land area	9.99 ac
Flood Plain	0.58 ac
Roadway (measured)	1.52 ac
Net Developable Acres	7.89 ac
Total Units	31
Proposed Density	3.93 du/net
Existing FLU	PD
Existing Zoning	PD
Required Openspace	2.50 ac
Provided Openspace	2.65 ac
Max. Building Height	35'
Typical lot Size	50' x 120'
Min Lot Size	6,000 sf
Min living area	1,100 sf
Setbacks on Lots	
Front	20'
Rear	20'
Side	5'
Side Street	20'
100 Year Flood	25'
Utility Usage	
Water Usage (350 GPD)	10,850 GPD
Sanitary Sewer Usage (300 GPD)	9,300 GPD
Projected Trips (10/day)	310 ADT.
Utility Provider	City of Sanford
Required Buffers	
North Boundary	0'
East Boundary	0'
South Boundary	min. 10'
West Boundary	40'
Permitted Uses	
Detached single-family dwelling units	
Townhomes	
Home occupations	
Home offices	

Property Appraiser ID Number 34-19-31-300-0006A-0000
34-19-31-300-0006B-0000
34-19-31-300-0006D-0000
34-19-31-300-0006E-0000

Seminole County
Approved for Construction

This approval is subject to specific conformance to the Seminole County Land Development Code and any special requirements of The Board of County Commissioners. It shall be the responsibility of the developer to correct any defects in the plans or the facility as constructed which results in a failure to meet applicable code requirements. Administrative acceptance of the developer's plans does not constitute a waiver of any code requirements nor does it relieve the developer of responsibility to meet those requirements. This specific approval is valid for a period of one year from the date below.

Approved

Seminole County Development Review Department

Date

Final Master Plan
daly design group inc.

Land Planning • Landscape Architecture • Project Management
604 Courtland Street, suite 202, Orlando, Florida 32804
Phone 407.740.7373 • Fax 407.740.7661 • www.dalydesign.com
Job No: 2604 • Scale As noted • Date: May 2007

Owner
Palm Ranch Inc
2521 County Road 415A
Sanford FL 32771

Owner
Rolf Bergmann
2521 County Road 415A
Sanford FL 32771

Developer
Orlando RE Partners, LLC
420 Anson Lane
Suite 102
Orlando FL. 32814
Contact: Mr. Brad Cowherd

Planner / Landscape Architect
Daly Design Group, Inc
604 Courtland Street
Suite 202
Orlando FL. 32707
Ph. 407-740-7373
Contact: Mr. Tom Daly

Engineer
Madden Engineering
431 E. Horatio Ave., Suite 260
Maitland, FL. 32751
Ph. 407-629-8330
Contact: Mr David Glunt

Surveyor
ASM Surveyors
1030 N Orlando Ave.
Suite B
Winter Park, FL 32789
Ph. (407) 426-7979
Contact: Mr. Brett Moscovitz

SHEET INDEX

SHEET	DESCRIPTION
EX-1	Existing Conditions (Prepared by ASM Surveyors)
MP-1	Master Development Plan
UT-1	Utility Plan
LS-1	Conceptual Landscape Plan
CF-1	Cut and Fill Plan
AR-1	Aerial Photo



Site Data

Parcel I.D.	34-19-31-300-006A-0000
	34-19-31-300-006B-0000
	34-19-31-300-006D-0000
	34-19-31-300-006E-0000
Total land area	9.99 ac
Flood Plain	0.58 ac
Roadway (measured)	1.52 ac
Net Developable Acres	7.89 ac
Total Units	31
Proposed Density	3.93 du/net
Existing FLU	PD
Existing Zoning	PD
Required Openspace	2.50 ac
Provided Openspace	2.65 ac
Max Building Height	35'
Typical lot Size	50' x 120'
Min Lot Size	6,000 sf
Min living area	1,100 sf
Setbacks on Lots	
Front	20'
Rear	20'
Side	5'
Side Street	20'
100 Year Flood	25'
Utility Usage	
Water Usage (350 GPD)	10,850 GPD
Sanitary Sewer Usage (300 GPD)	9,300 GPD
Projected Trips (10/day)	310 ADT.
Utility Provider	City of Sanford
Required Buffers	
North Boundary	0'
East Boundary	0'
South Boundary	min. 10'
West Boundary	40'
Permitted Uses	
Detached single-family dwelling units	
Townhomes	
Home occupations	
Home offices	

Proposed Setbacks

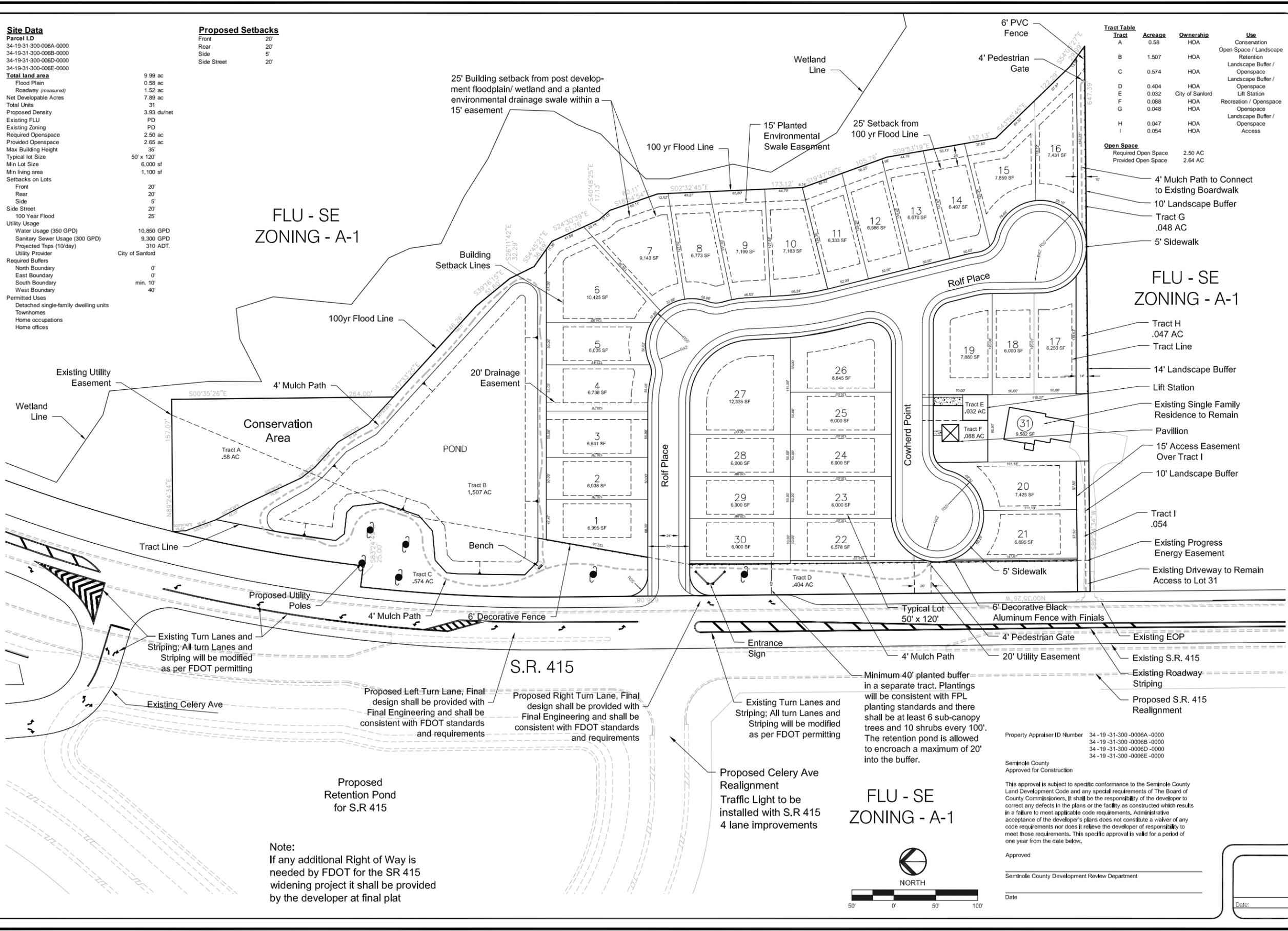
Front	20'
Rear	20'
Side	5'
Side Street	20'

Tract Table

Tract	Acres	Ownership	Use
A	0.58	HOA	Conservation
B	1.507	HOA	Open Space / Landscape Retention
C	0.574	HOA	Landscape Buffer / Openspace
D	0.404	HOA	Landscape Buffer / Openspace
E	0.032	City of Sanford	Lift Station
F	0.088	HOA	Recreation / Openspace
G	0.048	HOA	Openspace
H	0.047	HOA	Landscape Buffer / Openspace
I	0.054	HOA	Access

Open Space

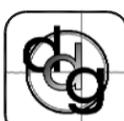
Required Open Space	2.50 AC
Provided Open Space	2.64 AC



daly design group inc.
 Land Planning, Landscape Architecture, Project Management, Development Consulting
 604 Courland St., Suite 202, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION
1	01.14.08	Rev. based on County Comments dated 07.26.07
2	02.04.08	Rev. based on County Comments dated 01.31.08

Master Development Plan
 Final Master Plan
 River's Edge Preserve
 Seminole County, Florida



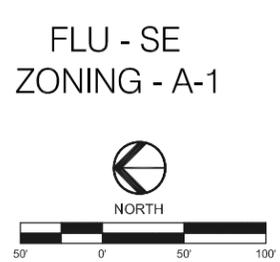
PROJECT NO.
2604
 SCALE
1" = 50'
 DATE
May 2006
 SHEET
MP-1

Property Appraiser ID Number 34-19-31-300-0006A-0000
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 34-19-31-300-0006D-0000
 34-19-31-300-0006E-0000

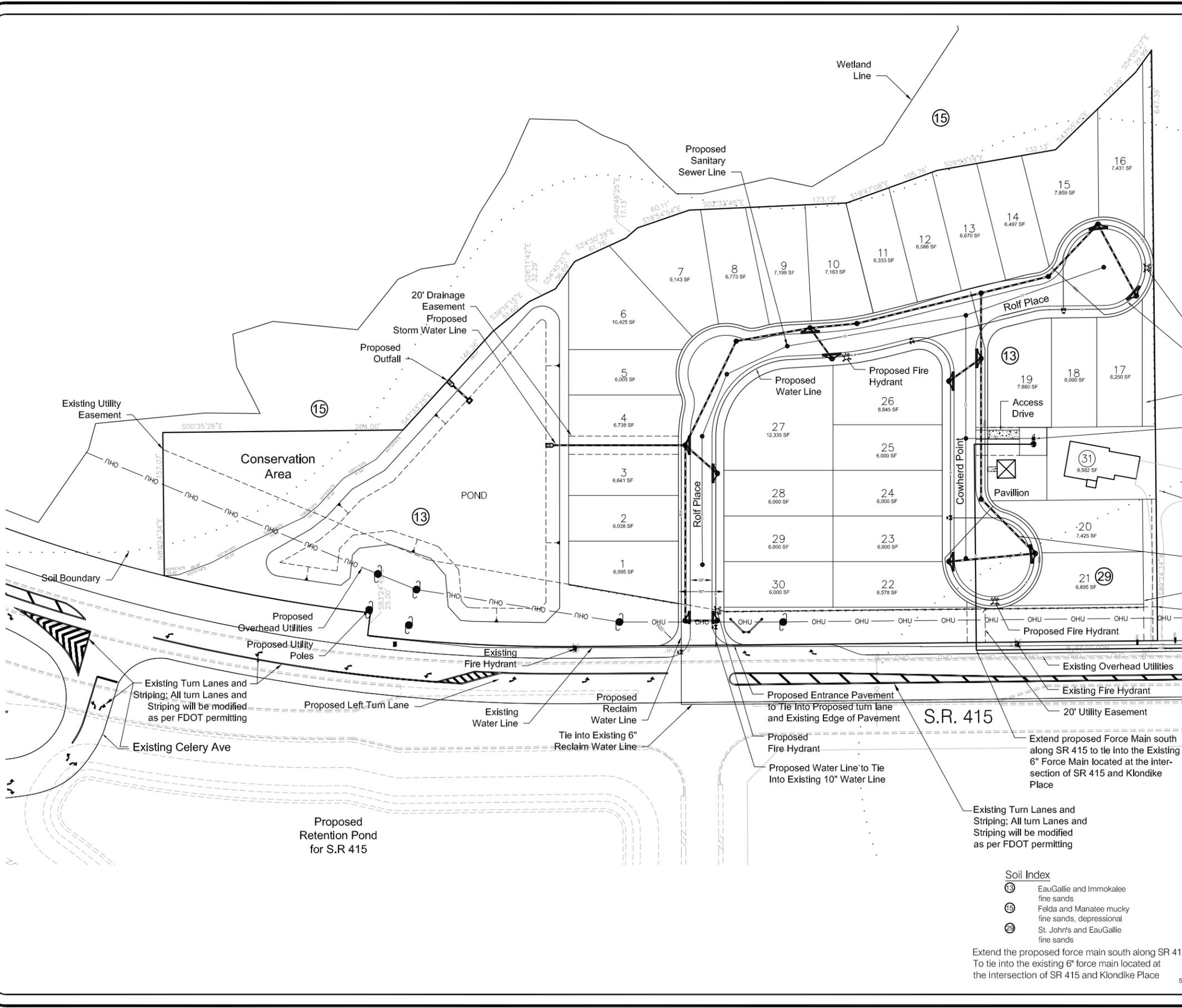
Seminole County
 Approved for Construction

This approval is subject to specific conformance to the Seminole County Land Development Code and any special requirements of The Board of County Commissioners. It shall be the responsibility of the developer to correct any defects in the plans or the facility as constructed which results in a failure to meet applicable code requirements. Administrative acceptance of the developer's plans does not constitute a waiver of any code requirements nor does it relieve the developer of responsibility to meet those requirements. This specific approval is valid for a period of one year from the date below.

Approved _____
 Seminole County Development Review Department
 Date _____



Note:
 If any additional Right of Way is needed by FDOT for the SR 415 widening project it shall be provided by the developer at final plat



- Legend**
- WM — Proposed Watermain
 - SS — Proposed Storm Sewer
 - FM — Proposed Sanitary Sewer
 - FM — Proposed Force Main
 - P — Proposed Stormwater Outfall
 - P — Proposed Pond Control Structure
 - S — Proposed Storm Inlets
 - M — Proposed Manhole
 - M — Proposed Sanitary Manhole
 - V — Proposed Water Valve
 - V — Proposed Fire Hydrant
 - OHU — Proposed Overhead Utilities
 - UP — Proposed Utility Pole
 - OHU — Existing Overhead Utilities
 - WM — Existing Water Main
 - PP — Existing Power Pole
 - SI — Existing Storm Inlet
 - SM — Existing Storm Manhole
 - FH — Existing Fire Hydrant
 - V — Existing Water Valve
 - S — Soil Type Notation
 - S — Soil Boundary Line

- Proposed Fire Hydrant
- Proposed Water Line
- Open Space Tract
- Proposed Lift Station & Access Drive
- Soil Boundary
- Proposed Storm Water Line
- 15' Access Easement Over Tract I
- Existing Utility Easement

Property Appraiser ID Number 34-19-31-300-0006A-0000
 34-19-31-300-0006B-0000
 34-19-31-300-0006D-0000
 34-19-31-300-0006E-0000

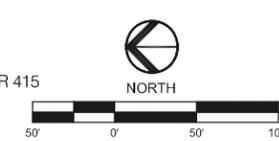
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 Seminole County Development Review Department
 Date _____

- Soil Index**
- 13 Eau Gallie and Immokalee fine sands
 - 15 Felda and Manatee mucky fine sands, depressional
 - 29 St. John's and Eau Gallie fine sands

Extend the proposed force main south along SR 415 To tie into the existing 6" force main located at the intersection of SR 415 and Klondike Place



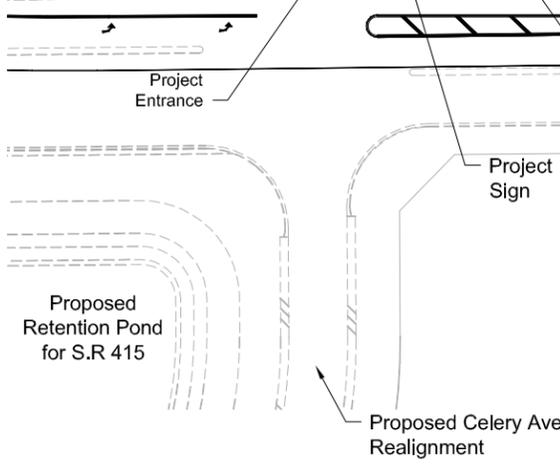
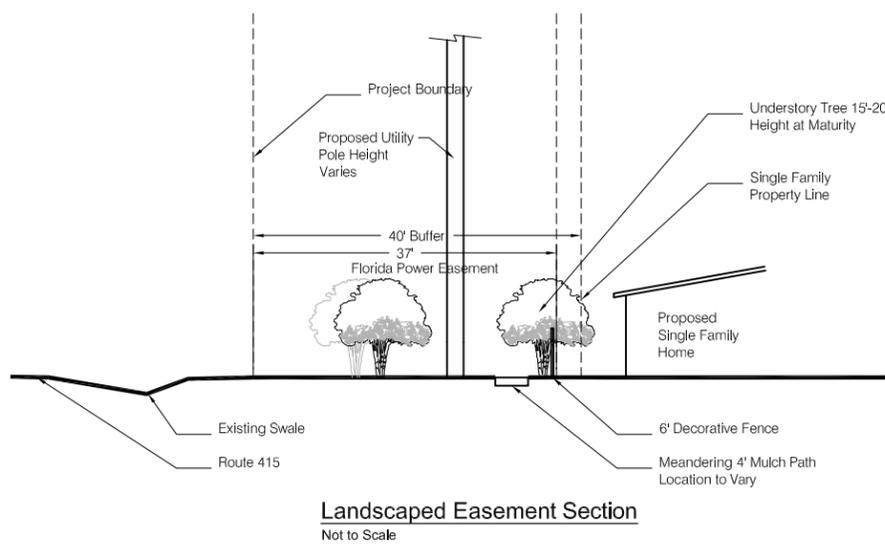
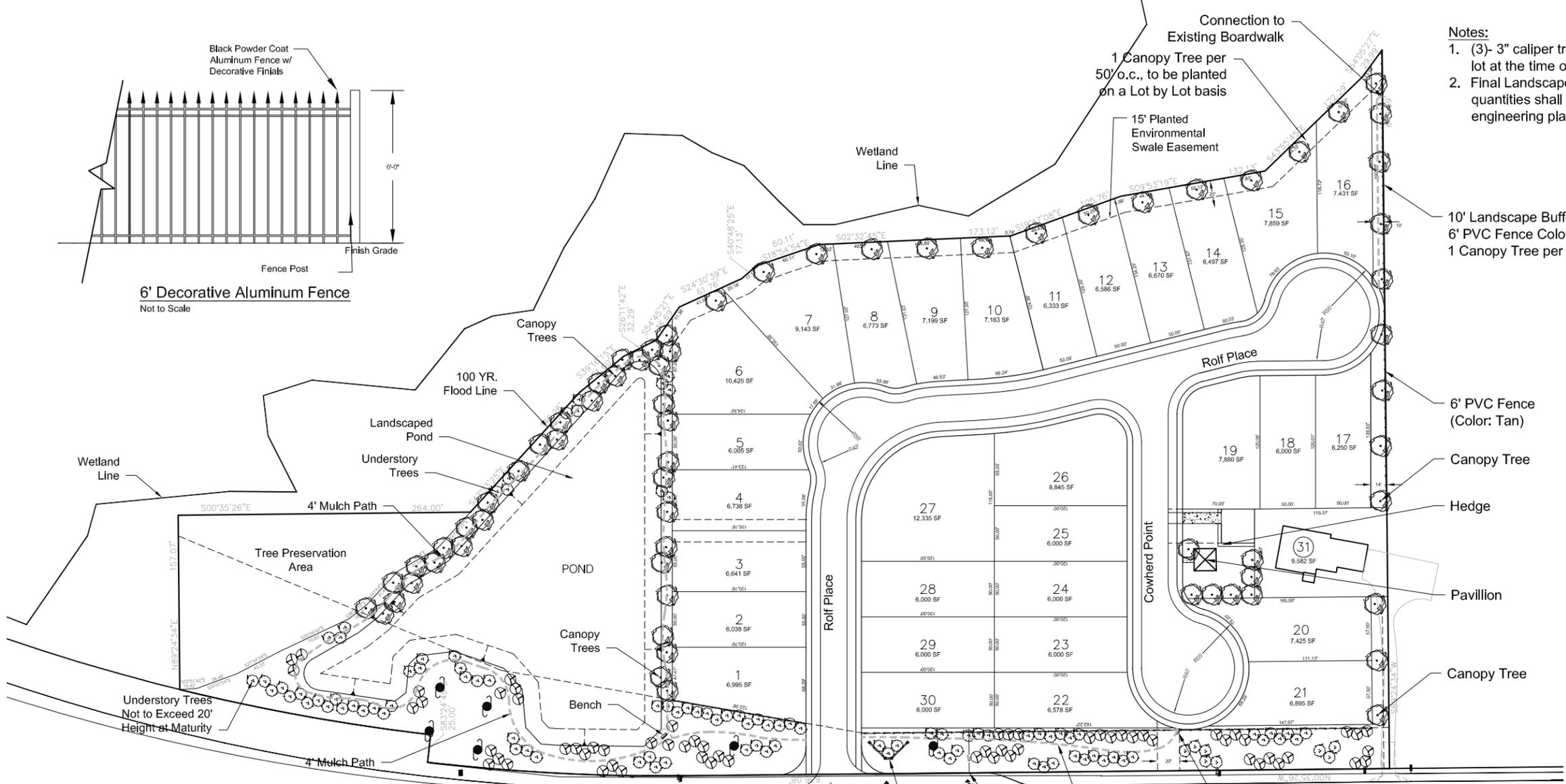
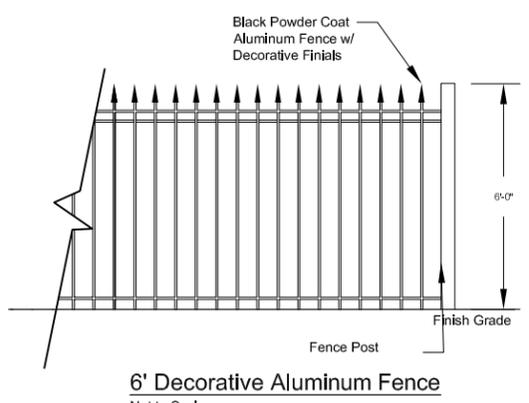
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REV	DATE	DESCRIPTION	BY
2	02.04.08	Rev. based on County Comments dated 01.31.08	JAP
1	01.14.08	Rev. based on County Comments dated 07.26.07	JAP

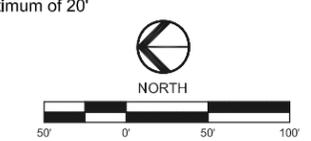
Utility Plan
 Final Master Plan
 River's Edge Preserve
 Seminole County, Florida



PROJECT NO. 2604
 SCALE 1" = 50'
 DATE May 2007
 SHEET UT-1



40' Buffer
Existing Trees to Remain where Permissible
4' Mulch Path
6' Decorative Black Aluminum Fence w/ Finials
8 Understory Trees/ 100' (Not to exceed 15'-20' ht.)
Recommended Species:
- Sweet Bay Magnolias
- Wax Myrtle
- Youpon Holly
Minimum 40' planted buffer in a separate tract. Plantings will be consistent with FPL planting standards and there shall be at least 6 sub-canopy trees and 10 shrubs every 100'. The retention pond is allowed to encroach a maximum of 20' into the buffer.



Notes:
1. (3)- 3" caliper trees to be planted per lot at the time of each lot's development.
2. Final Landscape plan and plant quantities shall be provided w/ the final engineering plans.

10' Landscape Buffer
6' PVC Fence Color: Tan
1 Canopy Tree per 50' O.C.

6' PVC Fence (Color: Tan)
Canopy Tree

Hedge

Pavillion

Canopy Tree

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REV	DATE	DESCRIPTION	BY
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1	01.14.08	Rev. based on County Comments dated 07.06.07	JAP

Conceptual Landscape Plan
Final Master Plan
River's Edge Preserve
Seminole County, Florida

Property Appraiser ID Number 34-19-31-300-0006A-0000
34-19-31-300-0006B-0000
34-19-31-300-0006D-0000
34-19-31-300-0006E-0000

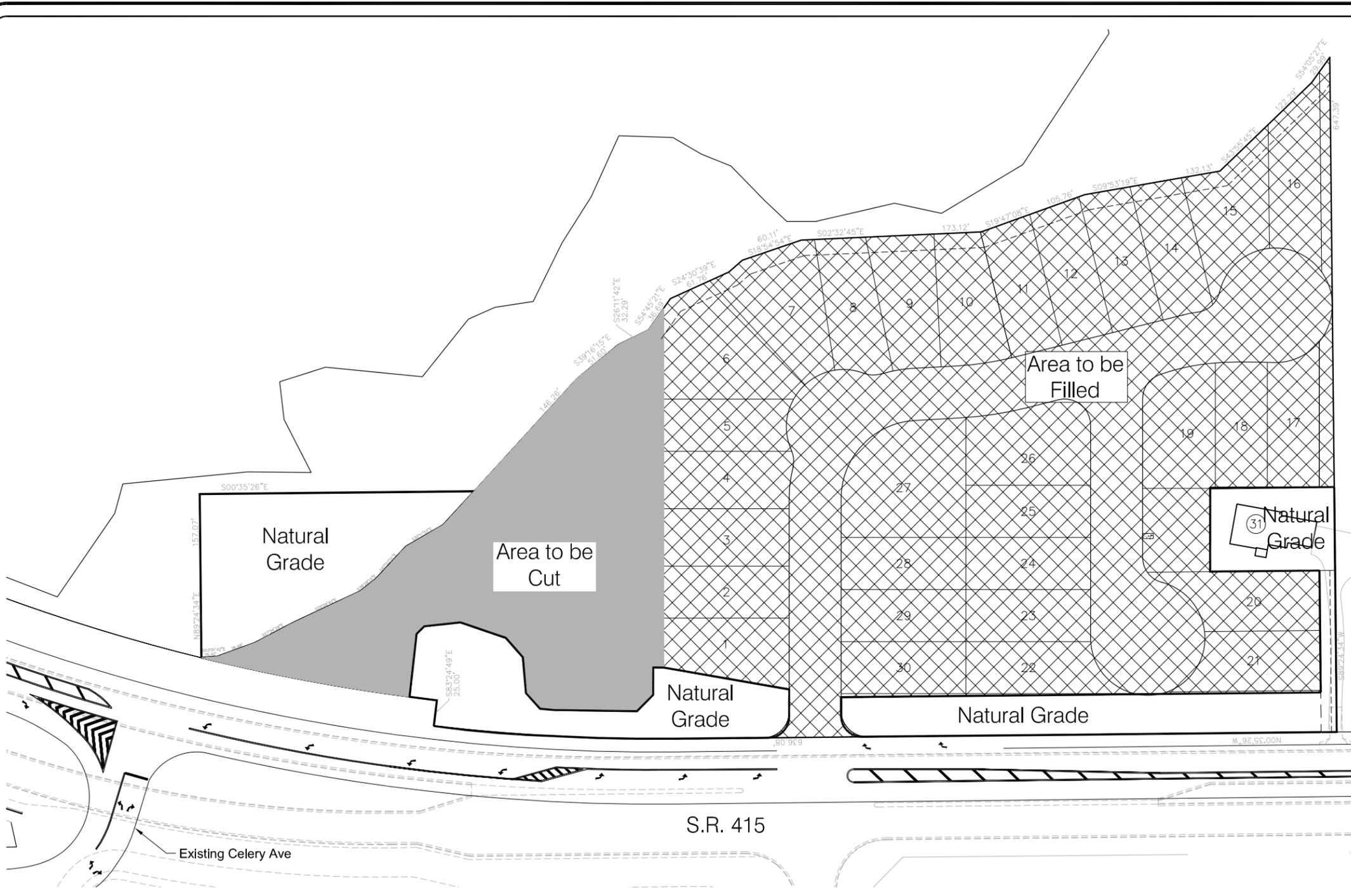
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Approved
Seminole County Development Review Department

Date: _____

Date: _____

PROJECT NO.
2604
SCALE
1" = 50'
DATE
May 2007
SHEET
LS-1

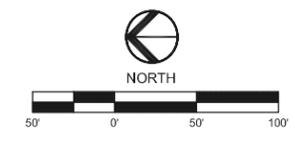


Property Appraiser ID Number 34-19-31-300-0006A-0000
 34-19-31-300-0006B-0000
 34-19-31-300-0006D-0000
 34-19-31-300-0006E-0000

Seminole County
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Approved _____
 Seminole County Development Review Department
 Date _____



Date: _____

Cut and Fill Plan
 Final Master Plan
 River's Edge Preserve
 Seminole County, Florida



PROJECT NO.
 2604
 SCALE
 1" = 50'
 DATE
 May 2006
 SHEET
 CF-1

REV	DATE	DESCRIPTION	BY
2	02.04.06	Rev. based on County Comments dated 01.31.06	JAP
1	01.14.06	Rev. based on County Comments dated 07.26.07	JAP

daly design group inc.
 Land Planning - Landscape Architecture - Project Management - Development Consulting
 604 Courland St., Suite 202, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

**RIVER'S EDGE PRESERVE PUD
FINAL MASTER PLAN
DEVELOPER'S COMMITMENT AGREEMENT
COMMITMENTS, CLASSIFICATION AND DISTRICT DESCRIPTION**

On February 26, 2008 the Board of County Commissioners of Seminole County, Florida issued this Developer's Commitment Agreement relating to and touching and concerning the following described property:

1. **LEGAL DESCRIPTION:**

See Exhibit "A"

2. **PROPERTY OWNER**

Palm Ranch, Inc.
Rolf Bergmann
2521 CR 415A
Sanford, FL 32771

3. **STATEMENT OF BASIC FACTS**

- A. Total Area: 9.99 Acres
- B. Zoning: Planned Unit Development
- C. Net Density 3.9 units/acre
- D. The development approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance with all other applicable regulations and ordinances.
- E. The owner (s) of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow, and perpetually burden the afore described property.

4. **OPEN SPACE AND RECREATION AREAS**

Required Open Space:
 $25\% = 9.99 \text{ acres} \times 0.25 = 2.50 \text{ acres}$
Open Space Provided: 2.64 Acres

5. **BUILDING SETBACKS**

Building setbacks shall be as follows:
Residential Building Units, Single-Family

Front; 20' from R/W, 20' from nearest edge of sidewalk.
 Side; 5'
 Street side; 20'
 Rear; 20'
 100 yr flood elevation; 25'

Accessory buildings less than 200 s.f.:

Side; 5'
 Street side; 20'
 Rear; 5'

<i>Pools and Screen Enclosures</i>		
	Screen Enclosure	Pool
Side	5'	7'
Side street	20'	22'
Rear	5'	7'

6. **PERMITTED USES**

Detached Single-Family Dwelling Units
 Townhomes
 Home Occupations
 Home Offices
 Customary Accessory Structures

7. **LANDSCAPE & BUFFER CRITERIA**

a. The following setback and buffer standards shall apply to the external property boundary of the entire PUD for single-family development:

1. West Property Line (adjacent to SR 415): Minimum 40' planted buffer in a separate tract. Plantings will be consistent with FPL planting standards and there shall be at least 6 sub-canopy trees and 10 shrubs every 100'. The retention pond is allowed to encroach a maximum of 20' into the buffer.
2. North Property Line (adjacent to floodplain / wetland): 25' building setback from post development floodplain/wetland and a planted environmental drainage swale within a 15' easement.
3. East Property Line (adjacent to floodplain / wetland): 25' building setback from post development floodplain/wetland and a planted environmental drainage swale within a 15' easement.

4. South Property Line: 10' buffer. Lot 31, one cul-de-sac and associated sidewalk may encroach 100% into the required buffer.

8. DEVELOPMENT COMMITMENTS

- a. Maximum building height shall be two-stories, not to exceed 35 feet.
- b. Single-family lots shall be no less than 50 feet in width and 6,000 square feet in size. Corner lots shall be at least 7,800 square feet in size.
- c. Minimum house size shall be 1,100 s.f. of living area
- d. Townhome lots shall be no less than 25' feet in width and 2,250 square feet in size.
- e. Minimum townhome size shall be 900 s.f. of living area
- f. Shall provide 25% usable common open space.
- g. Where counted toward required open space, all retention ponds shall be configured as site amenities per Section 30.1344.
- h. Subdivision plats establishing residential lots within the limits of the subject property shall include a note (font size twelve point or larger) stating the following:

This property is located in proximity to an airport noise zone. The properties delineated on this plat are subject to aircraft noise that may be objectionable.

- i. The sale of each residential lot shall include a deed containing the following language in bold type face:

NOTICE OF AIRPORT NOISE

This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.

In addition, the developer voluntarily agrees that an aviation easement, in a form acceptable to the Sanford Airport Authority, shall be recorded before issuance of a County building permit for any residential development. The aviation easement shall apply to all property upon which any residential use is to be constructed.

- j. Central potable water and sewer service shall be required for all development within the project.
- k. No outdoor storage of boats or Recreational Vehicles is permitted.
- l. Garages shall not be converted into living space.
- m. All landscape buffers and common areas shall be maintained by a homeowner's association.
- n. In the event that the project consists of townhomes and single-family dwellings the buffer and setbacks established for "townhomes" shall apply.

- o. The Final Master Plan, attached as Exhibit "B" is valid only for single-family development. If the developer desires to include any townhomes a new Final Master Plan must be completed. The buffer standards for townhomes, as outlined in the Revised and Restated Development Order Condition "n" dated February 12, 2008, shall apply to a townhome development.
- p. Development shall comply with Exhibit "B", the Final Master Plan.

9. **WATER, SEWER AND STORMWATER**

WATER: Water services shall be provided by the city of Sanford.

SANITARY SEWER: Sanitary sewer shall be provided by the city of Sanford.

STORMWATER: Stormwater drainage and stormwater management shall be according to Seminole County's county regulations.

FIRE PROTECTION: Fire protection shall be provided by Seminole County. Fire flow will be a minimum of 1,250 gpm with 20 p.s.i. Fire hydrant shall be located according to Seminole county regulations.

10. **PHASING**

The development will be constructed in one phase.

11. **STANDARD COMMITMENTS**

- A. Unless specifically addressed otherwise herein, all development shall fully comply with all of the codes and ordinances, including impact fee ordinances, in effect in Seminole County at the time of permit issuance.
- B. The conditions upon this development approval and commitments made as to this development approval have been accepted by and agreed to by the Owners of the property.
- C. The developer's commitment agreement touches and concerns the afore described property, and the conditions, commitments, and provisions of the developer's commitment agreement shall perpetually burden, run with, and follow the said property and be a servitude upon and binding upon said property unless released in whole or by part by action of Seminole County by virtue of a document of equal dignity herewith. The Owners of said property have expressly covenanted and agreed to this provision and all other terms and provisions of the developer's commitment agreement.
- D. The terms and provisions of the developer's commitment agreement are not severable, and in the event any portion of this developer's

commitment agreement shall be found to be invalid or illegal, then the entire developer's commitment agreement shall be null and void.

12. **INTERPRETATION; RELATIONSHIP TO FINAL MASTER PLAN AND DEVELOPMENT ORDER**

This Developer's Commitment Agreement is intended to summarize material provisions of the Final Master Plan of the Property approved concurrently herewith by the Board of County Commissioners of Seminole County. In the event of an inconsistency between this Developer's Commitment Agreement and the Final Master Plan, the terms and conditions of the Developer's Commitment Agreement shall control. Furthermore, in the event of a conflict between the terms of the Developer's Commitment Agreement and Development Order Number 07-21700012, the terms of the Development Order shall control.

**DONE AND ORDERED ON
THE DATE FIRST WRITTEN ABOVE**

By: _____
Brenda Carey, Chairman

EXHIBIT A

Legal Description

A PORTION OF SECTION 34, TOWNSHIP 19 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 34-19-31 AND THE EAST RIGHT OF WAY LINE STATE ROAD 415; THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°35'26" WEST, A DISTANCE OF 460.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES AND DISTANCES: NORTH 00°35'26" WEST, A DISTANCE OF 636.08 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,859.86 FEET, A CENTRAL ANGLE OF 07°10'37" AND A CHORD DISTANCE OF 232.82 FEET WHICH BEARS NORTH 02°59'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 232.97 FEET; THENCE SOUTH 83°24'49" EAST, A DISTANCE OF 25.00 FEET TO A POINT OF CURVATURE OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,834.86 FEET, A CENTRAL ANGLE OF 07°11'24" AND A CHORD DISTANCE OF 230.10 FEET WHICH BEARS NORTH 10°10'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 230.25 FEET; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY LINE NORTH 89°24'34" EAST, A DISTANCE OF 157.07 FEET; THENCE SOUTH 00°35'26" EAST, A DISTANCE OF 264.00 FEET TO A POINT ON THE 100 YEAR FLOOD PLANE LINE (ELEVATION=9.7'); THENCE ALONG SAID 100 YEAR FLOOD PLANE LINE THE FOLLOWING TWELVE COURSES AND DISTANCES: SOUTH 47°33'25" EAST, A DISTANCE OF 146.26 FEET; THENCE SOUTH 39°16'15" EAST, A DISTANCE OF 51.60 FEET; THENCE SOUTH 26°11'42" EAST, A DISTANCE OF 32.29 FEET; THENCE SOUTH 54°45'21" EAST, A DISTANCE OF 36.69 FEET; THENCE SOUTH 24°30'39" EAST, A DISTANCE OF 61.76 FEET; THENCE SOUTH 40°48'25" EAST, A DISTANCE OF 17.13 FEET; THENCE SOUTH 18°54'54" EAST, A DISTANCE OF 60.11 FEET; THENCE SOUTH 02°32'45" EAST, A DISTANCE OF 173.12 FEET; THENCE SOUTH 19°47'08" EAST, A DISTANCE OF 105.76 FEET; THENCE SOUTH 09°53'19" EAST, A DISTANCE OF 132.13 FEET; THENCE SOUTH 43°55'45" EAST, A DISTANCE OF 122.29 FEET; THENCE SOUTH 54°05'27" EAST, A DISTANCE OF 29.99 FEET; THENCE DEPARTING SAID 100 YEAR FLOOD PLANE LINE SOUTH 89°24'34" WEST, A DISTANCE OF 647.39 FEET TO THE POINT OF BEGINNING.

CONTAINING 9.99 ACRES (435,029 SQUARE FEET), MORE OR LESS.

EXHIBIT B
FINAL MASTER PLAN

LEGAL DESCRIPTION

A PORTION OF SECTION 34, TOWNSHIP 19 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 34-19-31 AND THE EAST RIGHT OF WAY LINE STATE ROAD 415; THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°35'26" WEST, A DISTANCE OF 460.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES AND DISTANCES: NORTH 00°35'26" WEST, A DISTANCE OF 636.08 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,859.86 FEET, A CENTRAL ANGLE OF 07°10'37" AND A CHORD DISTANCE OF 232.82 FEET WHICH BEARS NORTH 02°59'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 232.97 FEET; THENCE SOUTH 83°24'49" EAST, A DISTANCE OF 25.00 FEET TO A POINT OF CURVATURE OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,834.88 FEET, A CENTRAL ANGLE OF 07°11'24" AND A CHORD DISTANCE OF 230.10 FEET WHICH BEARS NORTH 10°10'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 230.25 FEET; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY LINE NORTH 89°24'34" EAST, A DISTANCE OF 157.07 FEET; THENCE SOUTH 00°35'26" EAST, A DISTANCE OF 264.00 FEET TO A POINT ON THE 100 YEAR FLOOD PLANE LINE (ELEVATION=9.7); THENCE ALONG SAID 100 YEAR FLOOD PLANE LINE THE FOLLOWING TWELVE COURSES AND DISTANCES: SOUTH 47°33'25" EAST, A DISTANCE OF 146.26 FEET; THENCE SOUTH 39°16'15" EAST, A DISTANCE OF 51.60 FEET; THENCE SOUTH 26°11'42" EAST, A DISTANCE OF 32.29 FEET; THENCE SOUTH 54°45'21" EAST, A DISTANCE OF 36.69 FEET; THENCE SOUTH 24°30'39" EAST, A DISTANCE OF 61.76 FEET; THENCE SOUTH 40°48'25" EAST, A DISTANCE OF 17.13 FEET; THENCE SOUTH 18°54'54" EAST, A DISTANCE OF 60.11 FEET; THENCE SOUTH 02°32'45" EAST, A DISTANCE OF 173.12 FEET; THENCE SOUTH 19°47'08" EAST, A DISTANCE OF 105.76 FEET; THENCE SOUTH 09°53'19" EAST, A DISTANCE OF 132.13 FEET; THENCE SOUTH 43°55'45" EAST, A DISTANCE OF 122.29 FEET; THENCE SOUTH 54°05'27" EAST, A DISTANCE OF 29.99 FEET; THENCE DEPARTING SAID 100 YEAR FLOOD PLANE LINE SOUTH 89°24'34" WEST, A DISTANCE OF 647.39 FEET TO THE POINT OF BEGINNING.

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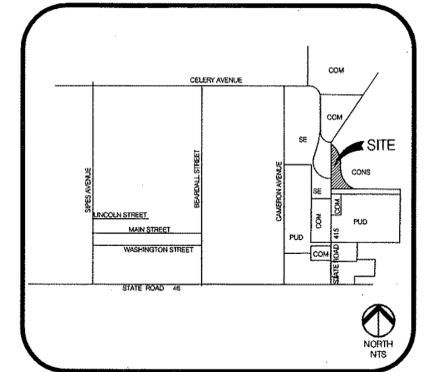
River's Edge Preserve

Final Master Plan

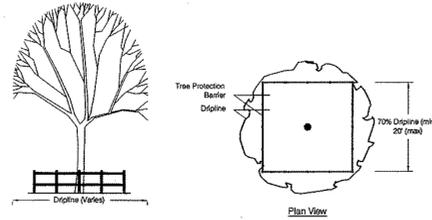
Seminole County, Florida

May 2007

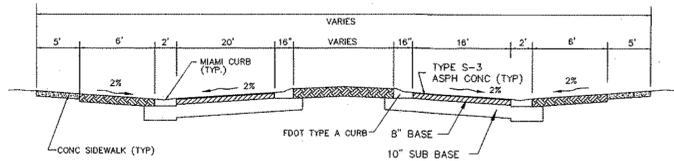
Prepared for:
Orlando RE Partners LLC.
420 Anson Lane
Suite 102
Orlando, Florida 32814



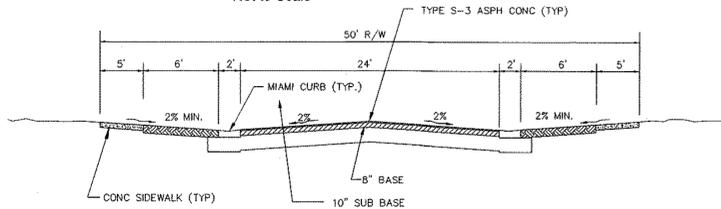
Location Map



Protective Tree Barrier
Not to Scale



Entrance Road Section
Not to Scale



Typical Road Section
Not to Scale

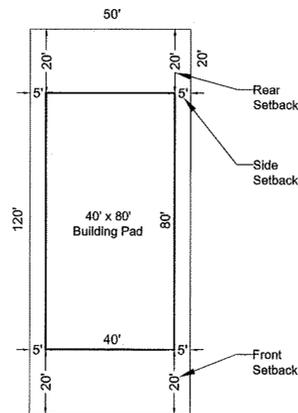
Notes:

- The site will be developed in one phase.
- All common areas, recreation facilities, and buffers will be owned and maintained by a homeowner's association.
- Lift station will be dedicated to the City of Sanford.
- Water and sewer service will be provided by the city of Sanford.
- Soil delineation's shown on the plan are based upon the SCS maps.
- This property is located in proximity to an airport noise zone. The properties delineated on this project are subject to aircraft noise that may be objectionable.
- The sale of each residential lot shall include a deed containing the following language in bold type face:
NOTICE OF AIRPORT NOISE
This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.
- No internal access shall be provided from the proposed development to the existing home that shall remain.
- Tract I will be owned and maintained by the owner of Lot 31. An access easement will be placed over Tract I for the benefit of the adjacent landowner.
- The wetland line shown on these plans is not located within the development and is shown for informational purposes only.
- West Property Line (adjacent to SR 415): Minimum 40' planted buffer in a separate tract. Plantings will be consistent with FPL planting standards and there shall be at least 6 sub-canopy trees and 10 shrubs every 100'. The retention pond is allowed to encroach a maximum of 20' into the buffer.
- North Property Line (adjacent to floodplain/ wetland): 25' building setback from post development floodplain/ wetland and a planted environmental drainage swale within a 15' easement.
- East Property Line (adjacent to floodplain/ wetland): 25' building setback from post development floodplain/ wetland and a planted environmental drainage swale within a 15' easement.
- South Property Line; Minimum 10' Landscape Buffer as shown on FMP.
- The Proposed force main shall be extended south along the East side of SR 415 to tie into the existing 6" force main located at the Entrance of the Sterling Meadows Subdivision. The proposed tie in location is at the intersection of SR 415 and Klondike Place (see sheet UT-1)

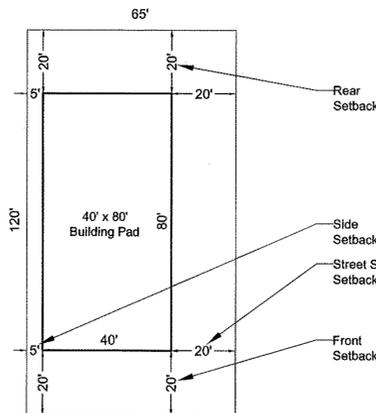
Notes Continued

- This Final Master Plan is valid only for single-family development. If the developer desires to include any townhomes a new Final Master Plan must be completed. The buffer standards for townhomes, as outlined in the revised and restated development order condition "n" dated February 12, 2008, shall apply to a townhome development

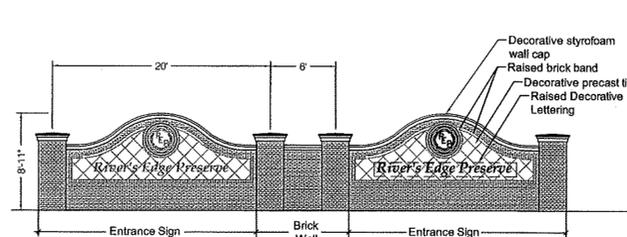
- 01.14.08 Revisions Based on County Comments dated 07.06.07
- 02.04.08 Revisions Based on County Comments dated 01.31.07



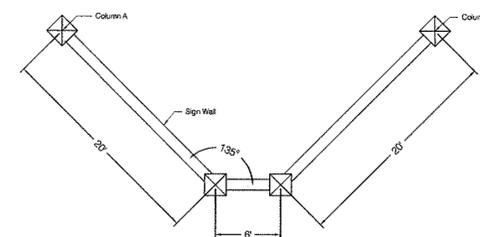
Typical Lot Layout
Not to Scale



Typical Corner Lot Layout
Not to Scale



Sign Wall Elevation and Detail
Not to Scale



Sign Wall Plan
Not to Scale

Net Buildable Acreage Calculation	
Gross Site Area	9.99 acres
External RW Dedications	0.00 acres
Nonresidential Outparcels	0.00 acres
Wetlands	0.00 acres
Flood Prone Areas	0.58 acres
Public Road RW	1.49 acres
Private Road RW	0.00 acres
Drive Aisles	0.00 acres
Lakes	0.00 acres
Net Buildable Area	7.86 acres

Open Space Calculation	
Gross Site Area	9.99 acres
Required External RW Dedications	0 acres
Public or Private RW (measured)	1.52 acres
Drive Aisles for Non-Recreational Uses	0 acres
Parking and Paved Areas	0 acres
(unless associated with a Recreational Amenity)	
Residential Lots (if platted)	5.13 acres
Residential Building Footprints (if unplatted)	0 acres
Outparcels	0 acres
Retention (if not amortized per LDC)	0 acres
Utility Tracts/Facilities	0.03 acres
Upland Common Areas Less Than 15' In Width (unless developed with pedestrian, bicycle or horse trails)	0 acres
Required Buffer Areas	0.7 acres
Required "Usable" Open Space	2.50 acres
Provided "Usable" Open Space	2.64 acres

Site Data	
Parcel I.D.	
34-19-31-300-006A-0000	
34-19-31-300-006B-0000	
34-19-31-300-006D-0000	
34-19-31-300-006E-0000	
Total land area	9.99 ac
Flood Plain	0.58 ac
Roadway (measured)	1.52 ac
Net Developable Acres	7.89 ac
Total Units	31
Proposed Density	3.83 du/net
Existing FLU	PD
Existing Zoning	PD
Required Openspace	2.50 ac
Provided Openspace	2.65 ac
Max. Building Height	35'
Typical lot Size	50' x 120'
Min Lot Size	6,000 sf
Min living area	1,100 sf
Setbacks on Lots	
Front	20'
Rear	20'
Side	5'
Side Street	20'
100 Year Flood	25'
Utility Usage	
Water Usage (350 GPD)	10,850 GPD
Sanitary Sewer Usage (300 GPD)	9,300 GPD
Projected Trips (10/day)	310 ADT.
Utility Provider	City of Sanford
Required Buffers	
North Boundary	0'
East Boundary	0'
South Boundary	min. 10'
West Boundary	40'
Permitted Uses	
Detached single-family dwelling units	
Townhomes	
Home occupations	
Home offices	

Property Appraiser ID Number 34-19-31-300-0006A-0000
34-19-31-300-0006B-0000
34-19-31-300-0006D-0000
34-19-31-300-0006E-0000

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Approved

Seminole County Development Review Department

Date

Final Master Plan
daly design group inc.

Land Planning • Landscape Architecture • Project Management
604 Courtland Street, suite 202, Orlando, Florida 32804
Phone 407.740.7373 • Fax 407.740.7661 • www.dalydesign.com
Job No: 2604 • Scale As noted • Date: May 2007

Owner
Palm Ranch Inc
2521 County Road 415A
Sanford FL 32771

Owner
Rolf Bergmann
2521 County Road 415A
Sanford FL 32771

Developer
Orlando RE Partners, LLC
420 Anson Lane
Suite 102
Orlando FL. 32814
Contact: Mr. Brad Cowherd

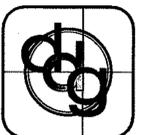
Planner / Landscape Architect
Daly Design Group, Inc
604 Courtland Street
Suite 202
Orlando FL. 32707
Ph. 407-740-7373
Contact: Mr. Tom Daly

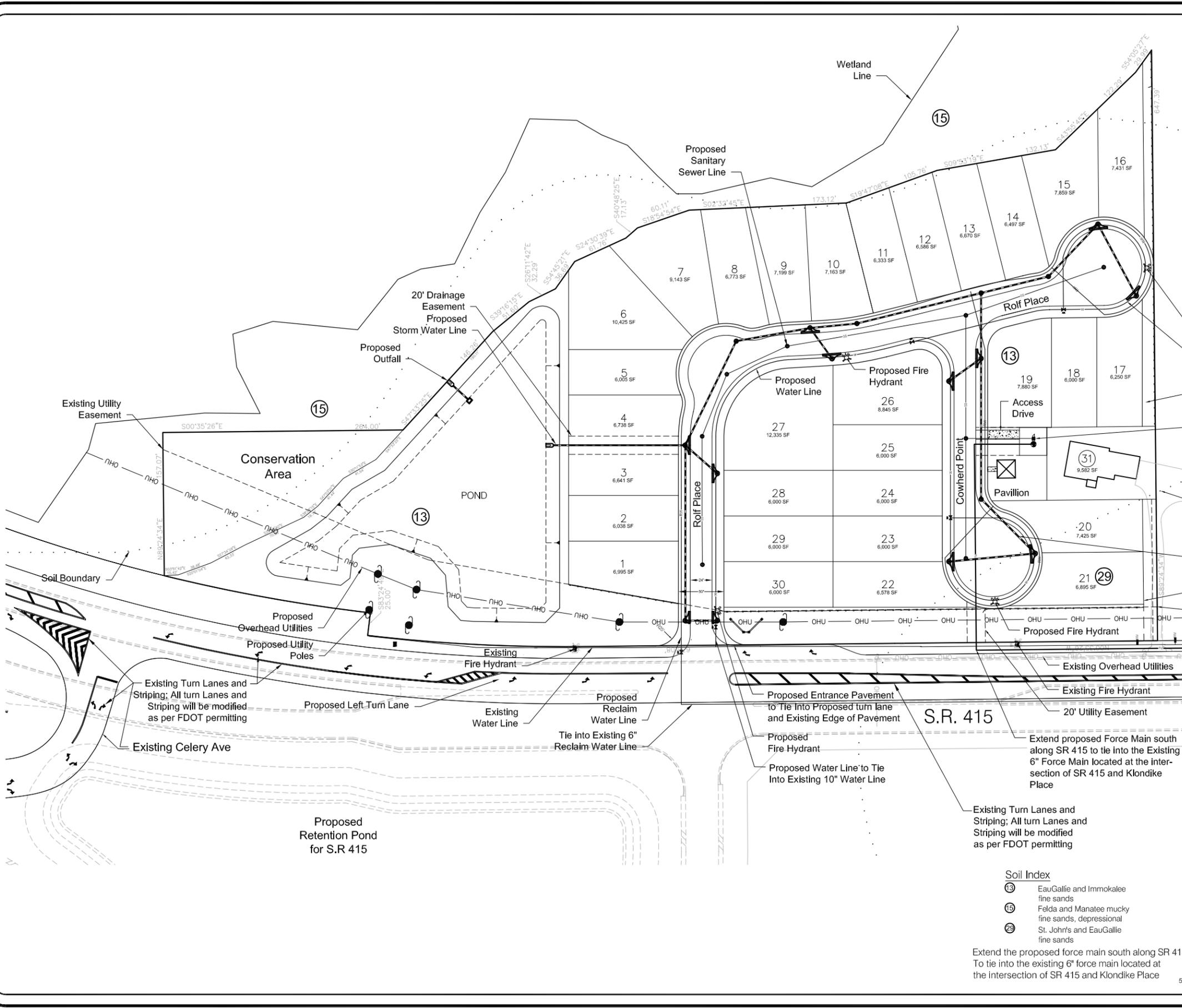
Engineer
Madden Engineering
431 E. Horatio Ave., Suite 260
Maitland, FL. 32751
Ph. 407-629-8330
Contact: Mr David Glunt

Surveyor
ASM Surveyors
1030 N Orlando Ave.
Suite B
Winter Park, FL 32789
Ph. (407) 426-7979
Contact: Mr. Brett Moscovitz

SHEET INDEX

SHEET	DESCRIPTION
EX-1	Existing Conditions (Prepared by ASM Surveyors)
MP-1	Master Development Plan
UT-1	Utility Plan
LS-1	Conceptual Landscape Plan
CF-1	Cut and Fill Plan
AR-1	Aerial Photo





- Legend**
- WM — Proposed Watermain
 - SS — Proposed Storm Sewer
 - FM — Proposed Sanitary Sewer
 - FM — Proposed Force Main
 - P — Proposed Stormwater Outfall
 - P — Proposed Pond Control Structure
 - S — Proposed Storm Inlets
 - M — Proposed Manhole
 - M — Proposed Sanitary Manhole
 - V — Proposed Water Valve
 - H — Proposed Fire Hydrant
 - OHU — Proposed Overhead Utilities
 - UP — Proposed Utility Pole
 - OHU — Existing Overhead Utilities
 - WM — Existing Water Main
 - PP — Existing Power Pole
 - SI — Existing Storm Inlet
 - SM — Existing Storm Manhole
 - FH — Existing Fire Hydrant
 - V — Existing Water Valve
 - S — Soil Type Notation
 - S — Soil Boundary Line

- Proposed Fire Hydrant
- Proposed Water Line
- Open Space Tract
- Proposed Lift Station & Access Drive
- Soil Boundary
- Proposed Storm Water Line
- 15' Access Easement Over Tract I
- Existing Utility Easement

Property Appraiser ID Number 34-19-31-300-0006A-0000
 34-19-31-300-0006B-0000
 34-19-31-300-0006D-0000
 34-19-31-300-0006E-0000

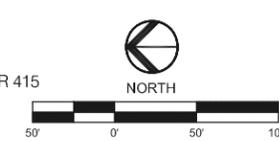
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Approved _____
 Seminole County Development Review Department
 Date _____

- Soil Index**
- 13 Eau Gallie and Immokalee fine sands
 - 15 Felda and Manatee mucky fine sands, depressional
 - 29 St. John's and Eau Gallie fine sands

Extend the proposed force main south along SR 415 To tie into the existing 6" force main located at the intersection of SR 415 and Klondike Place

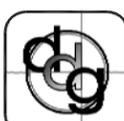


daly design group inc.

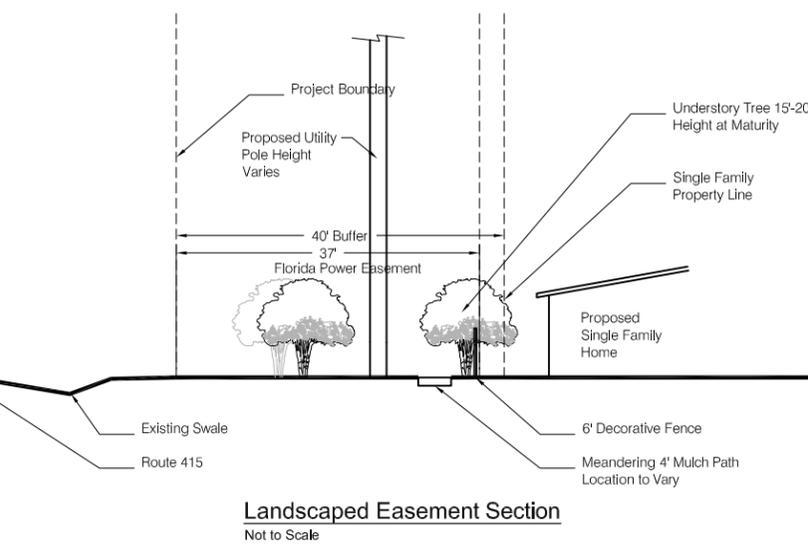
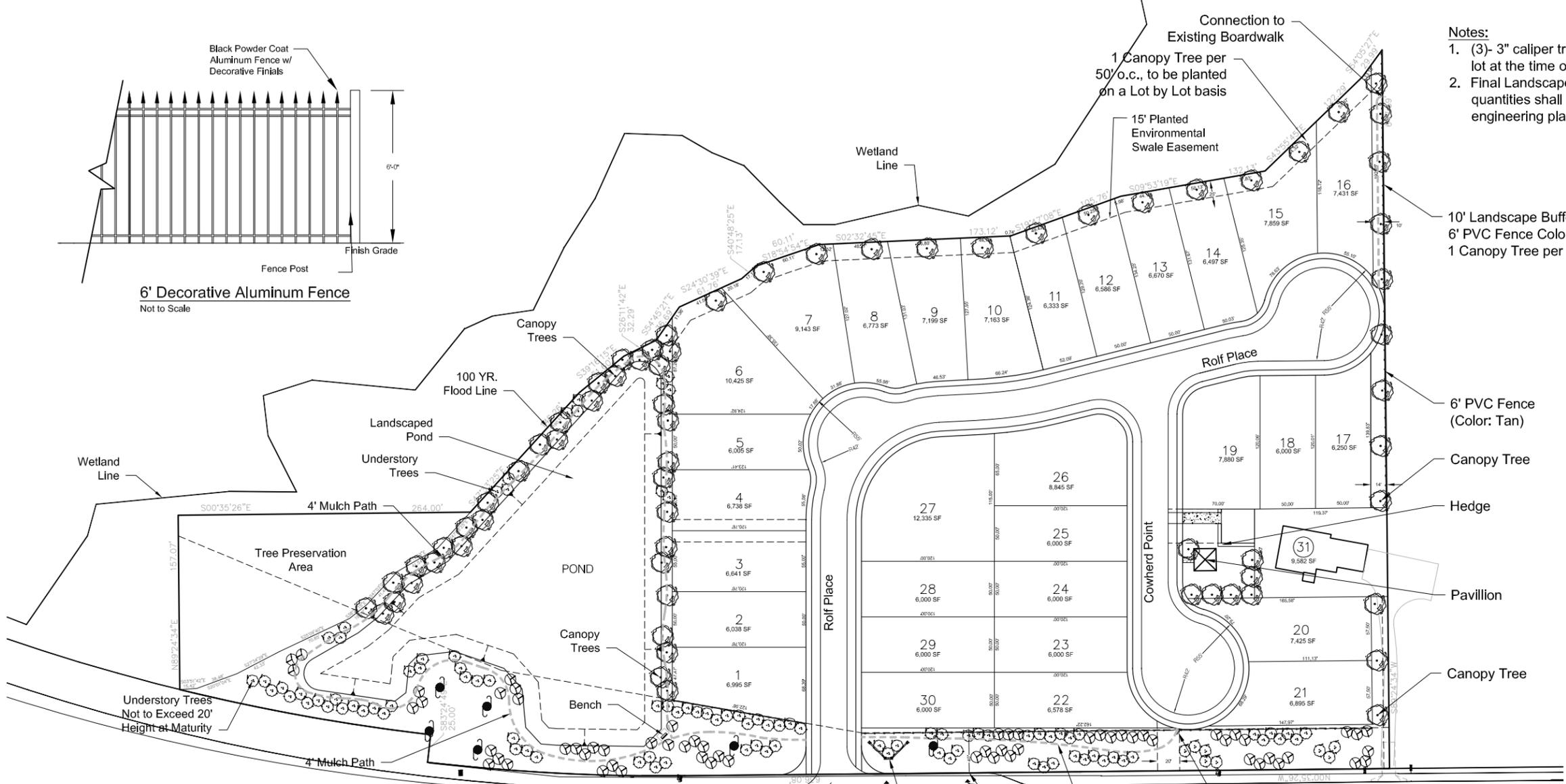
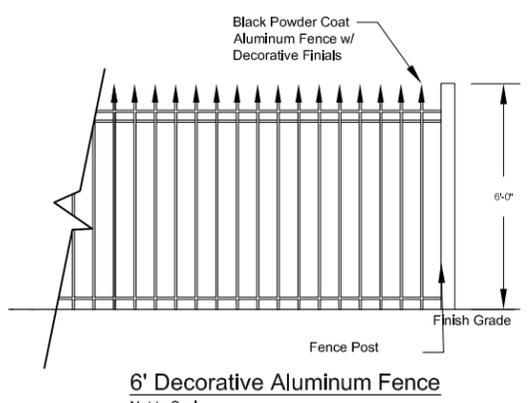
Land Planning, Landscape Architecture, Project Management, Development Consulting
 604 Courland St., Suite 202, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION	BY
2	02.04.08	Rev. based on County Comments dated 01.31.08	JAP
1	01.14.08	Rev. based on County Comments dated 07.26.07	JAP

Utility Plan
 Final Master Plan
 River's Edge Preserve
 Seminole County, Florida



PROJECT NO. 2604
 SCALE 1" = 50'
 DATE May 2007
 SHEET UT-1

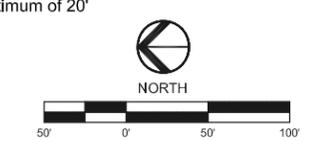


Property Appraiser ID Number 34-19-31-300-0006A-0000
34-19-31-300-0006B-0000
34-19-31-300-0006D-0000
34-19-31-300-0006E-0000

Seminole County
Approved for Construction

This approval is subject to specific conformance to the Seminole County Land Development Code and any special requirements of The Board of County Commissioners. It shall be the responsibility of the developer to correct any defects in the plans or the facility as constructed which results in a failure to meet applicable code requirements. Administrative acceptance of the developer's plans does not constitute a waiver of any code requirements nor does it relieve the developer of responsibility to meet those requirements. This specific approval is valid for a period of one year from the date below.

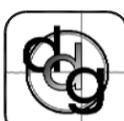
Approved _____
Seminole County Development Review Department
Date _____



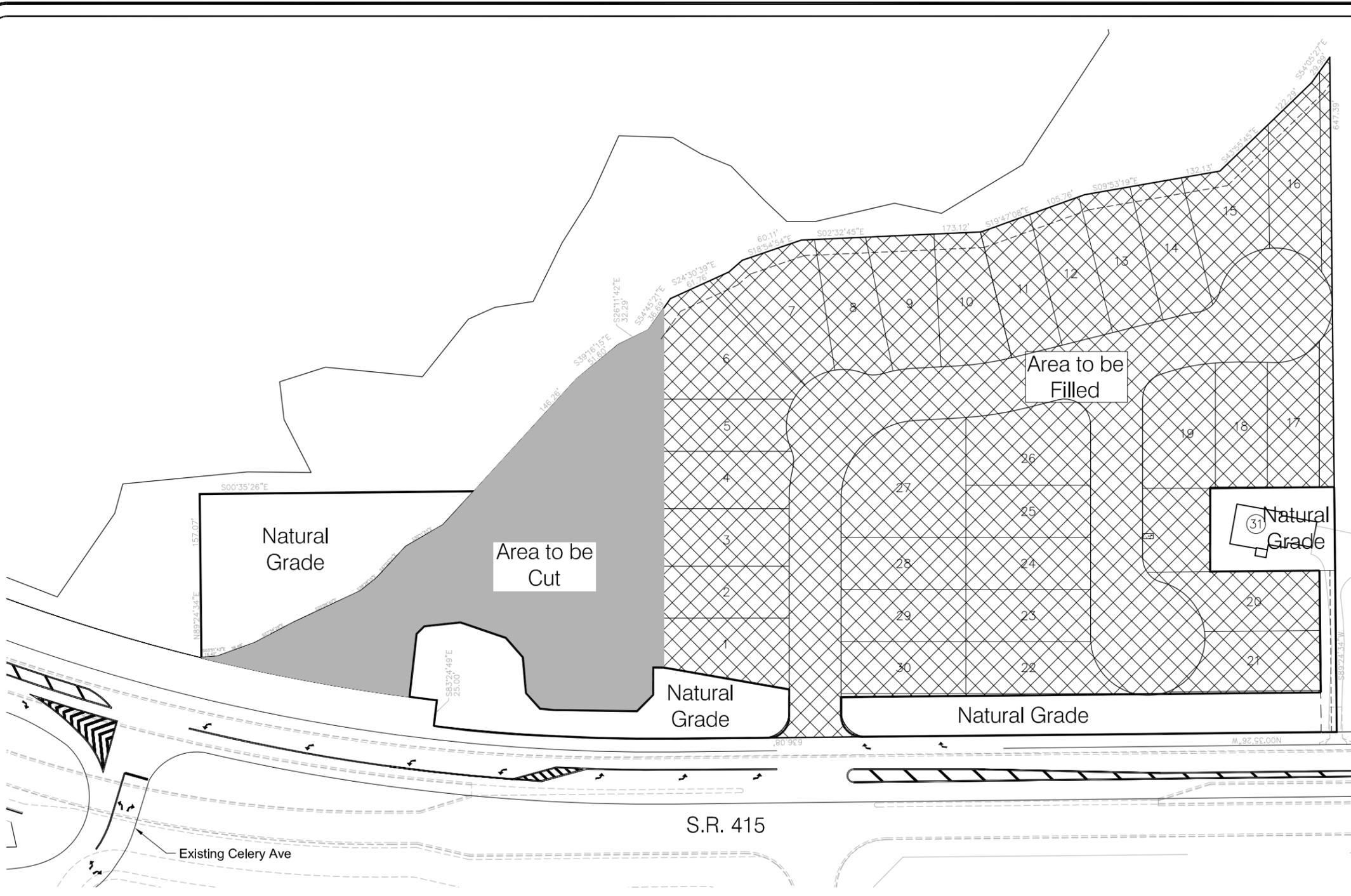
daly design group inc.
Landscape Architecture, Project Management, Development Consulting
604 Courland St., Suite 202, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION	BY
2	02.04.08	Rev. based on County Comments dated 01.31.08	JAP
1	01.14.08	Rev. based on County Comments dated 07.06.07	JAP

Conceptual Landscape Plan
Final Master Plan
River's Edge Preserve
Seminole County, Florida



PROJECT NO. 2604
SCALE 1" = 50'
DATE May 2007
SHEET LS-1

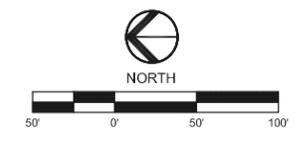


Property Appraiser ID Number 34-19-31-300-0006A-0000
 34-19-31-300-0006B-0000
 34-19-31-300-0006D-0000
 34-19-31-300-0006E-0000

Seminole County
 Approved for Construction

This approval is subject to specific conformance to the Seminole County Land Development Code and any special requirements of The Board of County Commissioners. It shall be the responsibility of the developer to correct any defects in the plans or the facility as constructed which results in a failure to meet applicable code requirements. Administrative acceptance of the developer's plans does not constitute a waiver of any code requirements nor does it relieve the developer of responsibility to meet those requirements. This specific approval is valid for a period of one year from the date below.

Approved _____
 Seminole County Development Review Department
 Date _____



Date: _____

Cut and Fill Plan
 Final Master Plan
 River's Edge Preserve
 Seminole County, Florida



PROJECT NO.
 2604
 SCALE
 1" = 50'
 DATE
 May 2006
 SHEET
 CF-1

REV	DATE	DESCRIPTION	BY
2	02.04.06	Rev. based on County Comments dated 01.31.06	JAP
1	01.14.06	Rev. based on County Comments dated 07.26.07	JAP

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 Land Planning - Landscape Architecture - Project Management - Development Consulting
 604 Courland St., Suite 202, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

**REVISED AND RESTATED DEVELOPMENT
ORDER**

The Rivercrest PUD Development Order dated March 27, 2007 is hereby further revised on February 12, 2008 to read as follows:

Legal description attached as Exhibit "A"

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner: Palm Ranch, Inc./Rolf Bergmann
2521 CR 415A
Sanford, FL 32771

Project Name: River's Edge Preserve PUD Major Amendment (f/k/a Rivercrest PUD)

Requested Development Approval:

Major Amendment to the Rivercrest PUD and rezone from PUD (Planned Unit Development) to PUD (Planned Unit Development)

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by:
Austin Watkins, Senior Planner
1101 East First Street
Sanford, Florida 32771

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows (underlines are additions, strikethroughs are deletions):

- a. All development shall comply with the Preliminary Master Plan attached as Exhibit B.
- b. The maximum density shall not exceed 3.9 dwelling units per net buildable acre, up to a maximum of 33 dwelling units.
- c. The maximum building height shall be two stories, not to exceed 35'.
- d. The minimum lot size for detached dwellings shall be 6,000 square feet. The minimum lot size for townhomes shall be 2,250 square feet.
- e. Permitted uses shall be townhomes, single-family detached dwellings, customary accessory structures, home offices, home occupations and customary recreational facilities for the use of the residents.
- f. All landscape buffers and common areas shall be maintained by a homeowners association.
- g. The development shall provide a pedestrian circulation system giving access to all portions of the development as well as connecting to existing sidewalks outside the development.
- h. A minimum of 25% useable open space shall be provided for the entire PUD. The location of and the amenities associated with the open space shall be provided at the time of Final Master Plan.
- i. Garages shall not be converted to living space.
- j. No outdoor storage of boats or RVs is allowed.
- k. The internal lot setbacks (principal and accessory structures) shall be determined at the time of Final Master Plan.
- l. Subdivision plats establishing residential lots within the limits of the subject property shall include a note (font size twelve point or larger) stating the following:

This property is located in proximity to an airport noise zone. The properties delineated on this plat are subject to aircraft noise that may be objectionable.

- m. The sale of each residential lot shall include a deed containing the following language in bold type face:

NOTICE OF AIRPORT NOISE

This property is located in proximity to an airport noise zone. Residents will be subject to aircraft noise that may be objectionable.

In addition, the developer shall execute an avigation easement, in a form provided by the County Attorney's Office, which shall be recorded prior to platting. The avigation easement shall apply to all property upon which any residential use is to be constructed.

- n. The following setback and buffer standards shall apply to the external property boundary of the entire PUD for a townhome development:

1. West Property Line (adjacent to SR 415): Minimum 40' natural planted buffer in a separate tract. Plantings will be consistent with FPL planting standards and there shall be at least 6 sub-canopy trees and 10 shrubs every 100'. The retention pond is allowed to encroach a maximum of 20' into the buffer.
2. North Property Line (adjacent to floodplain/wetland): 25' building setback from post development floodplain/wetlands and a 15' natural buffer in a separate tract.
3. East property line (adjacent to floodplain/wetland): 25' building setback from post development floodplain/wetlands and a 15' natural buffer in a separate tract.
4. South Property Line: 50' building setback and a 25' buffer in compliance with Section 30.1232 of the Seminole County Land Development Code Active/Passive buffer setback design standards.

- o. The following setback and buffer standards shall apply to the external property boundary of the entire PUD for a single-family development:

1. West Property Line (adjacent to SR 415): Minimum 40' natural planted buffer in a separate tract. Plantings will be consistent with FPL planting standards and there shall be at least 6 sub-canopy trees and 10 shrubs every 100'. The retention pond is allowed to encroach a maximum of 20' into the buffer.
2. North Property Line (adjacent to floodplain / wetland): 25' building setback from post development floodplain/wetland and a planted environmental drainage swale within a 15' easement.
3. East Property Line (adjacent to floodplain / wetland): 25' building setback from post development floodplain/wetland and a planted environmental drainage swale within a 15' easement.
4. South Property Line: 10' buffer. Lot 31, one cul-de-sac and associated sidewalk may encroach 100% into the required buffer.

- p. In the event that the project consists of townhomes and single-family dwellings the buffers and setbacks established in Condition "n" of this Development Order shall apply.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

By: _____
Brenda Carey
Chairman, Board of County Commissioners

OWNER'S CONSENT AND COVENANT

COMES NOW, the owners, Palm Ranch, Inc. and Rolf Bergmann, on behalf of themselves and their heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Lori D. Tucker
Witness

Rolf Bergmann
Rolf Bergmann, as Registered agent for Palm Ranch, Inc. and Rolf Bergmann, Individually as owner

Justin Huber
Witness

STATE OF FLORIDA)
)
COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Rolf Bergman who is personally known to me or who has produced FLA DL as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 14 day of February, ~~2007~~ 2008.

Lori D. Tucker

Notary Public, in and for the County and State Aforementioned

My Commission Expires:



EXHIBIT "A"

DESCRIPTION

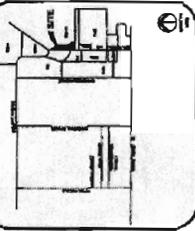
LEGAL DESCRIPTION

A PORTION OF SECTION 34, TOWNSHIP 19 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 34-19-31 AND THE EAST RIGHT OF WAY LINE STATE ROAD 415; THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°35'26" WEST, A DISTANCE OF 460.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES AND DISTANCES: NORTH 00°35'26" WEST, A DISTANCE OF 636.08 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,859.86 FEET, A CENTRAL ANGLE OF 07°10'37" AND A CHORD DISTANCE OF 232.82 FEET WHICH BEARS NORTH 02°59'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 232.97 FEET; THENCE SOUTH 83°24'49" EAST, A DISTANCE OF 25.00 FEET TO A POINT OF CURVATURE OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1,834.86 FEET, A CENTRAL ANGLE OF 07°11'24" AND A CHORD DISTANCE OF 230.10 FEET WHICH BEARS NORTH 10°10'53" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 230.25 FEET; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY LINE NORTH 89°24'34" EAST, A DISTANCE OF 157.07 FEET; THENCE SOUTH 00°35'26" EAST, A DISTANCE OF 264.00 FEET TO A POINT ON THE 100 YEAR FLOOD PLANE LINE (ELEVATION=9.7'); THENCE ALONG SAID 100 YEAR FLOOD PLANE LINE THE FOLLOWING TWELVE COURSES AND DISTANCES: SOUTH 47°33'25" EAST, A DISTANCE OF 146.26 FEET; THENCE SOUTH 39°16'15" EAST, A DISTANCE OF 51.60 FEET; THENCE SOUTH 26°11'42" EAST, A DISTANCE OF 32.29 FEET; THENCE SOUTH 54°45'21" EAST, A DISTANCE OF 36.69 FEET; THENCE SOUTH 24°30'39" EAST, A DISTANCE OF 61.76 FEET; THENCE SOUTH 40°48'25" EAST, A DISTANCE OF 17.13 FEET; THENCE SOUTH 18°54' 54" EAST, A DISTANCE OF 60.11 FEET; THENCE SOUTH 02°32'45" EAST, A DISTANCE OF 173.12 FEET; THENCE SOUTH 19°47'08" EAST, A DISTANCE OF 105.76 FEET; THENCE SOUTH 09°53'19" EAST, A DISTANCE OF 132.13 FEET; THENCE SOUTH 43°55'45" EAST, A DISTANCE OF 122.29 FEET; THENCE SOUTH 54°05'27" EAST, A DISTANCE OF 29.99 FEET; THENCE DEPARTING SAID 100 YEAR FLOOD PLANE LINE SOUTH 89°24'34" WEST, A DISTANCE OF 647.39 FEET TO THE POINT OF BEGINNING.

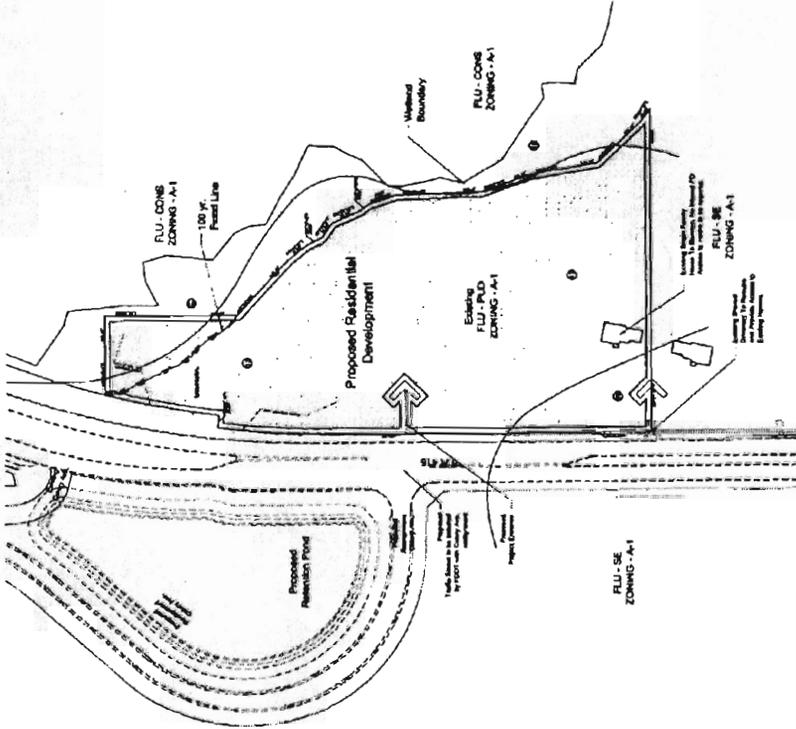
CONTAINING 9.99 ACRES (435,029 SQUARE FEET), MORE OR LESS.

EXHIBIT "B"
Preliminary Master Plan



Location Map

- 1. 11.08.06
- 2. 04.03.07
- 3. 07.24.07
- 4. 12.21.07



Preliminary Master Plan
Scale: 1" = 100'

- 1 11.08.06
- 2 04.03.07
- 3 07.24.07
- 4 12.21.07

Soils Legend

- 1. 11.08.06
- 2. 04.03.07
- 3. 07.24.07
- 4. 12.21.07

LEGAL DESCRIPTION
 A certain portion of the land described in the following: ...

1. The site will be developed in one phase.
2. All work on the site shall be done in accordance with the approved plans.
3. All construction, installation, maintenance, and repairs shall be done in accordance with the approved plans.
4. The site shall be developed in accordance with the approved plans.
5. The site shall be developed in accordance with the approved plans.
6. The site shall be developed in accordance with the approved plans.
7. The site shall be developed in accordance with the approved plans.
8. The site shall be developed in accordance with the approved plans.
9. The site shall be developed in accordance with the approved plans.
10. The site shall be developed in accordance with the approved plans.
11. The site shall be developed in accordance with the approved plans.

OWNER
 ...

DESIGNER
 ...

PREPARED BY
 ...

PRELIMINARY MASTER PLAN
 day design group inc.

... Project Management



SEMINOLE COUNTY
APPLICATION & AFFIDAVIT

Ownership Disclosure Form

Please provide the information as requested below in accordance with Ordinance No. 07-21700012

1. List all natural persons who have an ownership interest in the property, which is the subject matter of this petition, by name and address.

Name: <u>ROLF BERGMANN</u>	Name: _____
Address: <u>2521 County Road 415A</u>	Address: _____
Phone #: <u>407.328.8255</u>	Phone #: _____
Name: _____	Name: _____
Address: _____	Address: _____
Phone #: _____	Phone #: _____

(Use additional sheets for more space.)

2. For each corporate owner, list the name, address, and title of each officer of the corporation, the name and address of each director of the corporation, and the name and address of each shareholder who owns 2% or more of the stock of the corporation. Shareholders need not be disclosed as to corporations whose shares of stock are traded publicly on any national or regional stock exchange.

Name of Corporation: <u>PALM RANCH, INC.</u>	Name of Corporation: _____
Officers: <u>ROLF BERGMANN</u>	Officers: _____
Address: <u>2521 SR 415 SANFORD, FL. 32711</u>	Address: _____
Directors: <u>ROLF BERGMANN</u>	Directors: _____
Address: <u>2521 SR 415 SANFORD, FL. 32711</u>	Address: _____
Shareholders: <u>ROLF BERGMANN</u>	Shareholders: _____
Address: <u>2521 SR 415 SANFORD, FL. 32711</u>	Address: _____

(Use additional sheets for more space.)

3. In the case of a trust, list the name and address of each trustee and the name and address of the beneficiaries of the trust.

Name of Trust: <u>N/A</u>	Beneficiaries: _____
Trustees: _____	Address: _____
Address: _____	Address: _____

(Use additional sheets for more space.)

SEMINOLE COUNTY
APPLICATION AND AFFIDAVIT

4. For partnerships, including limited partnerships, list the name and address of each principal in the partnership, including general or limited partners.

Name of Partnership: N/A Name of Partnership: _____
Principal: _____ Principal: _____
Address: _____ Address: _____
(Use additional sheets for more space.)

5. In the circumstances of a contract for purchase, list the name of each contract vendee, with their names and addresses, the same as required for corporations, trust, or partnerships. In addition, the date of the contract for purchase shall be specified along with any contingency clause relating to the outcome of the consideration of this petition.

Contract Vendee: _____ Contract Vendee: _____
Name: N/A Name: _____
Address: _____ Address: _____
(Use additional sheets for more space.)

6. As to any type of owner referred to above, a change of ownership occurring subsequent to this application, shall be disclosed in writing to the Planning and Development Director prior to the date of the public hearing on the application.

7. I affirm that the above representations are true and are based upon my personal knowledge and belief after all reasonable inquiry. I understand that any failure to make mandated disclosures is grounds for the subject rezone, future land use amendment, special exception, or variance involved with this Application to become void. I certify that I am legally authorized to execute this Application and Affidavit and to bind the Applicant to the disclosures herein.

DEC. 29, '07
Date

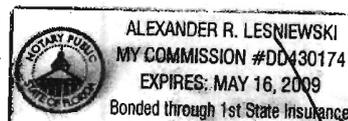
[Signature]
Owner, Agent, Applicant Signature

STATE OF FLORIDA
COUNTY OF _____

Sworn to (or affirmed) and subscribed before me this 29 day of December, 2007 by _____

[Signature]
Signature of Notary Public

ALEXANDER LESNIEWSKI
Print, Type or Stamp Name of Notary Public



Personally Known [check] OR Produced Identification _____
Type of Identification Produced _____

For Use by Planning & Development Staff
Date: _____ Application Number: _____